



City of Somerville

ZONING BOARD OF APPEALS

City Hall 3rd Floor, 93 Highland Avenue, Somerville MA 02143

TO: Zoning Board of Appeals
FROM: Planning, Preservation, & Zoning Staff
SUBJECT: 21 Francesca Avenue, P&Z 23-001
POSTED: April 27, 2023

RECOMMENDATION: NONE

Staff memos are used to communicate background information, analysis, responses to public comments, review of statutory requirements and other information from Planning, Preservation, & Zoning staff to the Review Board members.

This memo summarizes the Administrative Appeal submitted for 21 Francesca Avenue and provides analysis or feedback as necessary. The application was deemed complete on April 14, 2023, and is scheduled for a public hearing on May 3, 2023. Any Staff recommended findings, conditions, and decisions in this memo are based on the information available prior to any public comment at the scheduled public hearing.

LEGAL NOTICE

Manuel O. Zepeda and Katherine R. Jong seek an administrative appeal of the Building Official's determination of the building type for the non-principal building located at the rear of the lot.

SUMMARY OF PROPOSAL

In this Administrative Appeal, the Applicant is challenging the Building Official's classification of the carriage barn sited at the rear of 21 Francesca Avenue as an Outbuilding which is an Accessory Structure building type. Instead, the Applicant contends that the structure is an existing Backyard Cottage building type with some non-conforming features and dimensions. An Accessory Building building type and an Accessory *Structure* building type are two different classifications in the SZO.

ADDITIONAL REVIEW NECESSARY

The SZO describes an Administrative Appeal as follows in **§15.5.2.a.1**:

"An administrative appeal is a petition to rectify a failure to act, denial of a permit, decision made, or enforcement action taken by the Building Official or Director of Planning & Zoning in an administrative development review case when an alleged error or misinterpretation has been made in the enforcement or application of the provisions of this Ordinance."

The Zoning Board of Appeals (ZBA) is the review authority for all Administrative Appeals.

BACKGROUND

21 Francesca Avenue is located in the Neighborhood Residence (NR) zoning district in the Magoun Square neighborhood. This area is represented by Ward 5 Councilor Beatriz Gómez-Mouakad.

There are two buildings on the lot: a 2 ½ -story Detached House building type that is the Principal Building on the lot, and a 1 ½-story Outbuilding that is an Accessory Structure building type.

The Applicant has provided a narrative presenting their reasoning for why the carriage barn at 21 Francesca Avenue should be considered an existing, non-conforming Backyard Cottage and not an Outbuilding. Their narrative has been appended to this memo.

Past development efforts Beginning in 2021, the Applicant endeavored to convert the carriage barn into a Backyard Cottage through the Site Plan Approval (SPA) process. The SPA process was the mechanism by which Backyard Cottages could be established in the NR zoning district prior to the SZO being amended in September 2022. The September 2022 amendment to this portion of the SZO Backyard Cottages “by right” in the NR district.

It is important to note that “by right” does not mean that all other provisions of the zoning code such as setbacks, floor plate, roof type, and similar can be disregarded. The term “by-right” does not give *carte blanche* development rights to properties that do not conform to site/building dimensions and other regulations. “By right” here simply means that a Backyard Cottage as a building type is allowed to exist in the NR district without ZBA having to approve their creation through the zoning relief process. A “by right” building meets *all other provisions of the zoning code* and needs no board relief. (see above).

Staff does not disagree that the former SPA process to establish a Backyard Cottage was a lengthy one. It required a pre-submittal meeting, two neighborhood meetings, review by the Urban Design Commission (UDC), review by multiple City departments for Green Score, Mobility (vehicular/bike parking and related regulations), Housing, and Engineering. Several iterations of any proposal were required in order to address feedback from multiple stakeholders, both municipal and public. All of this effort was required prior to submitting an application for a hearing of the ZBA for approval of a Backyard Cottage via Site Plan Approval (SPA).

Once the SZO was amended in September 2022, the Applicant’s scheduled ZBA hearing for Site Plan Approval to establish a Backyard Cottage at 21 Francesca Avenue became moot – there was no longer any legal ability for the ZBA to consider Site Plan

Approval for the project. Thus, as a result of the amendment, the Applicant was advised to apply for a building permit through ISD. Advisement to apply for a building permit does not indicate that a proposal is free and clear from zoning regulatory analysis by ISD; ISD is the sole entity empowered to interpret the SZO. This additional ISD analysis led to the Building Official determining that the existing carriage barn on the property was an Outbuilding Accessory Structure building type and not a pre-existing, non-conforming Backyard Cottage.

Despite the lengthy process, and despite the zoning ordinance being amended prior to the Applicant being able to be heard by the ZBA for an SPA, sympathy for an Applicant's past diligent efforts to see a project through to fruition cannot be used as valid reasons to either approve or deny an Administrative Appeal.

The ZBA may only consider the SZO and whether this building does or does not already meet the requirements of a Backyard Cottage in deciding whether or not to uphold or overturn the Building Official's classification of the carriage barn as an Outbuilding type of Accessory Structure.

Proposed plans The Applicant submitted a set of documents showing existing and proposed plans for the lot. Staff has not forwarded the proposed plan set to the ZBA. The Board is not allowed to consider a future development proposal when reviewing an Administrative Appeal of an ISD determination of a building type classification.

The above was set forth in a written opinion by the City Solicitor's Office on October 14, 2021 (attached), regarding what the ZBA may consider in these Administrative Appeal situations. The subject of the Administrative Appeal in the Solicitor's written opinion is also a building type classification issue, the difference being the two building types that are in question: Cottage versus Detached House. Regardless of the building type involved in the Administrative Appeal, the Board may *only* render a decision on the matter that is before it: whether or not ISD erred in its classification of the carriage barn at 21 Francesca Avenue as an Outbuilding. The ZBA may not consider future plans for the site in their ruling.

Relevant text is as follows:

"...[you] have asked whether the ZBA, in an administrative appeal, may consider the future development of a site in ruling on whether the building inspector properly designated a building as a cottage building rather than a detached house. In my Opinion, the board's decision must be confined to the matter pending before the Board and cannot validly determine matters not pending before the Board..."

ANALYSIS

Any existing building might present some non-conformities for the building type for which it is currently classified. The Building Official (ISD) must classify any building,

including non-conforming ones, to the closest applicable Building Type category that applies to the on-the-ground conditions. The question at hand is whether ISD erred in categorizing the carriage barn at 21 Francesca Avenue as an Outbuilding rather than a Backyard Cottage.

Building type classification and dimensional regulations

The SZO regulates structures as Principal Buildings, Accessory Buildings, or Accessory Structures. There are numerous types of Accessory Structures allowed in the NR zoning district, one of which is an Outbuilding. **Section 10.2.1.p** of the SZO states the following.

Outbuilding

A free-standing, fully-enclosed structure used for accessory vehicle parking, a home occupation, or as ancillary space for residential principal use including, but not limited to, a playroom for children. The following standards apply:

- i. Outbuildings must be set back at least twenty (20) feet from any front lot line.*
- ii. Where an improved alley is available, vehicular access to the outbuilding must take place from the alley.*
- iii. An outbuilding may be up to twelve (12) feet in height.*
- iv. An outbuilding must be setback a minimum of three (3) feet from any side or rear lot line unless constructed of fireproof materials.*

Of the four Outbuilding criteria above, only *i*, *iii*, and *iv* apply (as there is no alley abutting 21 Francesca Avenue, criterion *ii* above is not applicable).

The carriage barn at 21 Francesca meets criterion *i* in that it is more than 20 feet from the front lot line.

However, the carriage barn does not meet criterion *iii*, as the existing building is over 12 feet in height. Note that the Applicant's zoning chart states that the building is 10'9" in **story height**, but Outbuilding requirements regulate the **total height** of the building, not story height (see existing plan *elevations*). At 28' 2", the carriage barn is well over the allowed height for an Outbuilding.

With the exception of one side setback, the carriage barn is also in violation of all setback requirements by being less than the minimum required 3 feet from the side and rear property lines.

The carriage barn is not in use as a playroom or other ancillary residential use, nor does it provide space for a home occupation. There may be an area that is or can be used for vehicular parking given the vehicular bay on the left front elevation of the carriage barn. The building is currently compliant with permitted Outbuilding uses.

Backyard Cottage

The SZO states the following regarding Backyard Cottages in **Section 3** of the SZO

*A **Backyard Cottage** is “[a] small floor plate, detached, accessory building type typically providing space for one (1) small dwelling unit, a home occupation, a playhouse for children, or vehicular parking on the same lot as a principal building type.*

A more specific set of dimensional requirements are set forth in the SZO for a Backyard Cottage building type than for an Outbuilding, including lot width, depth, driveway location dependencies, parking setbacks, front, side, and rear setbacks, along with number of stories, story height, etc.

Sections 3.1.12.a and **3.1.12.c** of the SZO provide the regulatory dimensions for Backyard Cottages. Of all the criteria, the existing carriage barn does not meet the following regulatory requirements for a Backyard Cottage:

Dimension	Required	Existing
Side Setback (left)	3.0'	1' 10"
Rear Setback	3.0'	1' 8"
10-foot Building Separation (from carriage barn to garage on 17-19 Francesca)	10.0'	7' 1"
Maximum Building Width	24.0'	42' 5"
Maximum Floor Plate	576 sf	975 sf
Roof Type	Gable or Flat	Hip (this is not a “gable” roof as stated in the Applicant's zoning chart) there is a small dormer with a gable roof – this does not count toward the roof type. The main roof is a Hip roof which is not a form that is permitted.

Building types are defined by their combined disposition, configuration, and function and are differentiated from each other by *dimensional standards* (see above), customized for each building type. Each building type permitted within a zoning district is presented in detail in the SZO.

To properly administer a building type-based zoning ordinance like Somerville's, the Superintendent of Inspectional Services ('Building Official') must determine which building type is the appropriate classification for every existing structure in Somerville. All of the building type descriptions, standards, dimensions and other related provisions are taken into consideration in addition to the purpose of the zoning district when classifying an existing structure. Structures are not classified in isolation, but in consideration of multiple standards.

The Building Official must also classify existing uses as falling within either one of the permitted categories of uses, or the specific existing use is determined to be a non-conforming pre-existing use. The classification of existing uses is common to the administration of all zoning ordinances. The classification of existing structures is necessary for any ordinance that differentiates between the class (type) of structures it regulates, such as Somerville's.

CONSIDERATIONS & FINDINGS

If the Board finds that the existing conditions regarding the carriage barn at 21 Francesca Avenue reflect an Outbuilding Accessory Structure building type, the Board should deny the Administrative Appeal and uphold ISD's determination.

If the Board finds that the existing conditions regarding the carriage barn at 21 Francesca Avenue reflect a Backyard Cottage building type, the Board should approve the Administrative Appeal and overturn ISD's determination.

Subject: RE: Scope of matters before the ZBA

Date: Wednesday, October 13, 2021 at 2:44:41 PM Eastern Daylight Time

From: David Shapiro

To: Daniel Bartman

CC: Susan Tkaczuk, Francis Wright

Dan,

You have asked whether the ZBA, in an administrative appeal, may consider the future development of a site in ruling on whether the building inspector properly designated a building as a cottage building rather than a detached house. In my opinion, the board's decision must be confined to the matter pending before the Board and cannot validly determine matters not pending before the Board. See, *Dion v. Board of Appeals of Waltham*, 344 Mass. 547, 554 (1962).

Please let me know if you have any additional questions.

David Shapiro

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City of Somerville Public Records Notice

Please be advised that the Massachusetts Attorney General has determined that email is a public record unless the content of the email falls within one of the stated exemptions under the Massachusetts Public Records Laws.

ADMINISTRATIVE APPEAL DEVELOPMENT NARRATIVE

Property: 21-23 Francesca Avenue
Applicants and Owners/Appellants: Manuel O. Zepeda, Trustee of the Manuel O. Zepeda Revocable Trust and Katherine R. Jong, Trustee of the Katherine R. Jong Revocable Trust
Agent: Adam Dash, Esq.
Zoning District: NR (1/2 mile Transit Area/Not in a Pedestrian Street District)

Background.

The property at 21-23 Francesca Avenue (the “Property”) currently contains a pre-existing, nonconforming two-family house with a pre-existing, non-conforming carriage house in the rear of the lot. Applicants/Owners/Appellants Manuel O. Zepeda, Trustee of the Manuel O. Zepeda Revocable Trust and Katherine R. Jong, Trustee of the Katherine R. Jong Revocable Trust (“Applicants”), reside in the neighborhood and wish to have more space for their family.

Applicant asserts that the existing carriage house structure in question is already a pre-existing Backyard Cottage building type and, as such, is grandfathered as to any existing dimensional nonconformities. It has been in its current state and location for a very, very long time and Applicants do not propose to dimensionally change it, such that Applicant’s filing for a building permit to renovate it so as to make it into one dwelling unit should be granted by right. The existing two-family house would be changed into a single-family house, also by right.

In the alternative, should the pre-existing, nonconforming structure not be found to already be a Backyard Cottage building type, Applicants argue that they propose to renovate the existing rear carriage house and to convert it into one dwelling unit as a Backyard Cottage, while converting the existing two-family house into a single-family house.

If the Applicants’ proposed project is granted a building permit, there would still only be two dwelling units at the Property, but one will be in the main house, and one will be in the Backyard Cottage.

Applicants would make alterations to both the existing main house and the existing carriage house to carry out the proposal, as shown on the plans filed herewith. None of the pre-existing nonconformities would be increased, and no new nonconformities would be created.

Administrative Appeal Summary.

In accordance with Somerville Zoning Ordinance (“SZO”) 15.5.2, Applicants hereby appeal the administrative decision of Inspectional Services Division dated December 16, 2022, a copy of which is attached as Exhibit A, that the conversion of the existing carriage house at the Property into a Backyard Cottage would require redesigning and altering said pre-existing, nonconforming structure to meet the requirements for a Backyard Cottage to address dimensions which do not

meet the Backyard Cottage requirements, including but not limited to side and rear setbacks, building width, max floor plate, and roof type.

While it makes sense that new construction of Backyard Cottage building types would have to comply with that building type's dimensional requirements, it is not feasible for pre-existing, nonconforming structures as in this case to comply without destroying their character or entire existence, such that such grandfathering of dimensions needs to be permitted in order to carry out the purpose of the Somerville Zoning Ordinance and the City's SomerVision 2040 strategic plan.

Said decision being appealed states that the Applicants can argue that the existing structure in question already is a Backyard Cottage such that a building permit can be issued by right, and Applicants hereby make said argument. In the alternative, Applicants argue that they can convert the existing structure in question into a Backyard Cottage by right. Either way, the project being proposed by Applicants ends up the same.

Procedural History of this Project.

Applicants have been trying to convert the carriage house at the Property into living space for about two years now, however, Applicants' efforts have been repeatedly frustrated.

Applicants first reached out to the City's Preservation, Planning & Zoning Division ("PP&Z") back in December 2020 about said project. After some back and forth, PP&Z replied on March 2, 2021 that converting the carriage house into a Backyard Cottage could be done, but would require Site Plan Approval.

On March 22, 2021, Applicants filed for a Certificate of Zoning Compliance ("CZC") to "[c]onvert a carriage house into one backyard cottage unit, and convert the existing two family house into a single unit", which was Case #CZC 21-000094.

After a significant delay in receiving a response to said CZC application, in July 2021 the matter was given the Case #P&Z 21-031, and a Pre-Submittal Meeting was held regarding same on August 24, 2021.

During that Pre-Submittal Meeting, the project was thoroughly discussed with representatives of City departments. Applicants made clear that they wished to preserve the pre-existing carriage house and were not going to add or take away space from it. Even the small horse stall window openings were being retained. Applicants were told that the project needed Site Plan Approval and that there would need to be a neighborhood meeting, then the matter would go to the Urban Design Commission ("UDC"), then a second neighborhood meeting, then the Development Review Application ("DRA") could be filed, and the matter would go to the Zoning Board of Appeals ("ZBA"). Applicants were told that, as a pre-existing, nonconforming structure, the carriage house could stay since it was an allowed building type in the NR zoning district as a Backyard Cottage.

A first neighborhood meeting was held on November 30, 2021. There was no opposition to the project, and neighbors expressed their support for the project.

Applicants then went before the UDC on March 8, 2022. The UCD voted to accept the project as presented and provided no comments.

A second neighborhood meeting was held on March 30, 2022. There was no opposition to the project, and neighbors expressed their support for the project.

On June 24, 2022, Applicants filed the DRA for the Site Plan Approval of the project, per SZO 3.1.6.d, seeking Site Plan Approval for a Backyard Cottage in the NR zoning district. The Site Plan Approval was only for the Backyard Cottage, and not for the main house at the Property, because the modifications to the main house were by right. The Development Narrative and Plans filed with said DRA are attached hereto as Exhibit B.

As a Backyard Cottage is a permitted Building Type in the NR district, and as the pre-existing, nonconforming structure would not be modified so as to create any new nonconformity or to increase any existing nonconformity, then per SZO 14.1.5.c.ii, no Special Permit was required for the project.

As stated in Applicants' DRA Development Narrative, the project would comply with the City's objectives, including the preservation of historical resources such as the existing carriage house, and will allow families to remain in the City as they grow. This would be done without adding any dwelling units to the Property, such that the Property would still contain only two dwelling units, in compliance with the purpose of the NR zoning district. The contextual modifications being proposed would fit within the purpose of the NR zoning district by allowing the existing structures and number of dwelling units to remain. Without this Site Plan Approval, the carriage house, in its poor condition, would likely not remain. The Backyard Cottage would be minimally seen from the public way; and, to the neighbors, the existing structures on the Property would remain, but in an improved state.

Applicants then waited for a date to appear before the ZBA. After a long wait, Applicants' Site Plan Approval application was placed on the ZBA's agenda for September 21, 2022, a copy of which is attached hereto as Exhibit C.

On September 8, 2022, the City Council approved an amendment to the SZO which made Backyard Cottage building types by right in the NR zoning district. Applicants were then told by PP&Z that Applicants no longer needed Site Plan Approval and that their matter was being removed from the ZBA's September 21, 2022 agenda since it was now by right.

Applicants then filed for a building permit to convert the carriage house into living space by right, which was given the number B 22-001679. The plan set filed for the building permit is attached hereto as Exhibit D.

On December 16, 2022, Applicants' building permit application was denied because "[c]onversion of the existing outbuilding into a backyard cottage would necessitate compliance

with all requirements of SZO 3.1.12. Currently, the design does not meet many of these requirements, including but not limited to side and rear setbacks, building width, max floor plate, and roof type. Please redesign or seek relief. You may also appeal the determination that the existing structure is not an outbuilding but is actually an existing backyard cottage. This appeal can be done in accordance with SZO 15.5.2 -Administrative Appeal”. The denial also asked Applicants to provide some additional information, which is contained in the plan set attached hereto as Exhibit E.

Applicants now seek an Administrative Appeal of said denial.

Argument.

It is Applicants’ position that the pre-existing, nonconforming carriage house structure is grandfathered as to all dimensional nonconformities, being a long-standing, pre-existing building. Whether it is already a Backyard Cottage, or whether it has to be converted into a Backyard Cottage, the rationale is the same. The structure in question is pre-existing and dimensionally nonconforming, and its dimensions will not change. All that will change is that it will become a dwelling unit and be restored to allow for such use. Being an allowed building type in the NR zoning district, a Backyard Cottage is by right, and Applicants should be granted a by right building permit to carry out their project.

It is also Applicants’ position that they had been told the project required Site Plan Approval, and then told that it was by right, after about two years of public process. The City cannot now contradict its prior findings after Applicants have spent so much time and money on drawings and legal fees in reliance on the City’s determinations.

a. Purpose.

Having to so substantially alter the carriage house as suggested in the building permit denial would cause it to lose its current, historical appearance, which Applicants were trying to preserve by keeping the structure and using it as living space. Preserving these kinds of outbuildings from demolition was the purpose of allowing them to be converted into Backyard Cottages in the first place. If all such carriage houses have to comply with all of the dimensional requirements of the Backyard Cottage building type, then many of the more significant carriage houses will have to be demolished or heavily altered, which runs counter to the creation of said building type’s purpose.

While it makes sense that new construction of Backyard Cottage building types would have to comply with that building type’s dimensional requirements, it is not feasible for pre-existing, nonconforming structures, as in this case, to comply without destroying their character or entire existence, such that such grandfathering of dimensions needs to be permitted in order to carry out the purpose of the Somerville Zoning Ordinance and the City’s SomerVision 2040 strategic plan. This is especially true of the recent SZO amendment to make Backyard Cottages by right in the

NR zoning district, which would not be possible if the reasons for the denial of Applicants' building permit are upheld.

Per SZO 3.1.12, a Backyard Cottage building type is:

A small floor plate, detached, accessory building type typically providing space for one (1) small dwelling unit, a home occupation, a playhouse for children, or vehicular parking on the same lot as a principal building type

Being a carriage house, the structure in question has been used for vehicular parking for a very, very long time. As such, being a small floor plate, detached, accessory building used for parking on the same lot as a principal building type, it is a Backyard Cottage already. In fact, there is no other building type in the SZO which is otherwise could be. It may be a pre-existing, dimensionally nonconforming Backyard Cottage, but it is a Backyard Cottage building type nonetheless.

Most structures in Somerville are pre-existing and dimensionally nonconforming as to their respective building type under the SZO, but they are grandfathered in that respect, as is the Applicants' carriage house.

Per SZO 1.1.4.d.v, the intent of the SZO is, in part:

To preserve and enhance the existing character of Somerville's traditional housing and respect existing built form and development patterns.

Per SZO 3.3.e, one of the purposes of the Neighborhood Residence ("NR") zoning district, in which this property is located, is:

To create dwelling unit types, sizes, and bedroom counts ideal for smaller households in cottages and backyard cottages.

The SomerVision 2040 strategic plan also supports Applicants' Administrative Appeal, as follows:

The SomerVision 2040 Map illustrates our vision for the community to conserve our great residential neighborhoods, enhance our funky square and commercial corridors, and transform opportunity areas on the eastern and southern edges of Somerville.

The NR zoning district is described as a residential neighborhood to conserve, which would include allowing the Applicants' carriage house to be kept from demolition by allowing it to be used as a dwelling unit.

SomerVision 2040's goals regarding climate and sustainability can be met by retaining existing structures, rather than razing them and then building new structures, thereby wasting building materials while squandering the embedded energy from constructing and maintaining such pre-existing structures. To quote various portions of SomerVision 2040:

We need to integrate sustainability in all City processes, especially the way we live and move about.

Our infrastructure plays a critical role in improving our sustainability and resiliency to future climate events. We should explore traditional and innovative ways of addressing our problems.

Evaluate waste streams including trash, recycling, and organic waste.

Our housing stock needs to be ready for the 21st century—low energy, resilient, healthy, and comfortable. To meet these goals, the majority of the houses in Somerville need significant renovations. Therefore, this goal needs thoughtful consideration to avoid the negative impacts associated with gut renovations.

The best way to achieve these goals is to allow property owners to adapt their existing structures for productive uses. Applicants are only seeking to do that with their carriage house by making it living space.

b. Nonconformity.

Per Blasco v. Board of Appeals of Winchendon, 31 Mass. App. Ct. 32 (1991), nonconforming structures can be altered to provide for a substantially different purpose only where a local zoning ordinance authorizes this practice. Municipalities are free to liberally allow or prohibit such changes.

In the case of Somerville, such changes are permitted by the SZO.

Per SZO 14.1.5.c:

Modifications.

Any modification to a permitted principal building type, building component, or accessory building type that is nonconforming to any standard for that

specific principal building type, building component or accessory building type is permitted, subject to the following:

a). The creation of any new nonconformity is prohibited.

b). Any increase in an existing nonconformity is prohibited.

Per SZO 14.1.5.d:

Accessory Structures

i. Any modification that increases an existing nonconformity or creates a new nonconformity is prohibited.

ii. Any modification that results in greater conformance to this Ordinance is permitted.

The Applicants' project does not increase an existing nonconformity, nor does it create a new nonconformity. In fact, by already being a Backyard Cottage building type, or by converting the carriage house into a Backyard Cottage building type, Applicants' is dealing with an allowed building type in the NR zoning district which is dimensionally grandfathered. As such, Applicants' proposal is by right, per the SZO.

Forcing property owners with pre-existing, dimensionally nonconforming structures to obtain zoning relief to renovate and use said structures goes against the very words of SZO Section 14.1.5, the intent of which is to allow such structures to be modified provided, as in the Applicants' case, no nonconformity is being increased or created.

c. Historic Preservation.

Another issue is that the substantial alterations being required to obtain a building permit, per the decision being appealed, would run afoul of the City's Demolition Review Ordinance, being Ordinance number 20-20, which seeks to preserve significant structures by imposing an 18 month delay on their demolition so that property owners can find alternatives to demolition, which definition includes removing more than 50% of the building's external surface area.

Forcing Applicants to substantially alter, rather than preserve, an historic structure such as the carriage house at the Property runs counter to the purpose of the Demolition Review Ordinance, in addition to the purposes of the Somerville Zoning Ordinance and the intent of SomerVision 2040.

Conclusion.

Applicants have been run around for the past two years for simply trying to do the right thing. They have done what the City asked them to do along the way, but they desire and need to move this project along.

Applicants simply want to preserve their carriage house, either as a pre-existing, nonconforming Backyard Cottage building type, or by converting it into a Backyard Cottage building type. They do not seek to add units to their Property. They do not seek to enlarge the carriage house. They do not seek to demolish the carriage house and build a new structure.

In attempting to do this simple thing, they attempted to obtain Site Plan Approval and, then when the City amended the SZO to make Backyard Cottages by right in the NR zoning district, they tried to get a building permit. Now, they are being told to substantially alter the pre-existing, nonconforming structure in order to obtain a building permit, which Applicants never wanted to do, as they wanted to retain the historic character of the carriage house.

The decision being administratively appealed here prevents the intent of the SZO, SomerVision 2040, and the Demolition Review Ordinance from being realized.

Applicants respectfully request that said December 16, 2022 decision be overturned and that they be given a by right building permit to convert the carriage house at the Property into living space in a Backyard Cottage building type.

Manuel O. Zepeda, Trustee of the Manuel O.
Zepeda Revocable
Trust and Katherine R. Jong, Trustee of the
Katherine R. Jong
Revocable Trust, Appellants
By their attorney



Adam Dash, Esq. BBO#557239
Adam Dash & Associates
48 Grove Street, Suite 304
Somerville, MA 02144
617-625-7373
dash@adamdashlaw.com

Date: January 3, 2023

Application Review Comments

msarcione@somervillema.gov <msarcione@somervillema.gov>

Fri 12/16/2022 11:13 AM

To: penze@hotmail.com <penze@hotmail.com>; Adam Dash <dash@adamdashlaw.com>

Cc: nantanavica@somervillema.gov <nantanavica@somervillema.gov>

Please see updated comment #1 below with information regarding appealing the classification of the existing structure. If you still wish to meet to discuss this project, please let us know.

FROM: Matt Sarcione,

DATE: December 16, 2022

RE: Building Permit Application Review Comments for B22-001679; 21 FRANCESCA AVE , SOMERVILLE, MA 02144

The following comments are relative to your application for Building Permit.

Reviewer: Matt Sarcione, Planning and Zoning

Review Status: Resubmittal Required

1. The existing structure has been determined to be an outbuilding as described in SZO 10.2.2.p. Conversion of the existing outbuilding into a backyard cottage would necessitate compliance with all requirements of SZO 3.1.12. Currently, the design does not meet many of these requirements, including but not limited to side and rear setbacks, building width, max floor plate, and roof type. Please redesign or seek relief. You may also appeal the determination that the existing structure is not an outbuilding but is actually an existing backyard cottage. This appeal can be done in accordance with SZO 15.5.2 - Administrative Appeal.
2. Please confirm dimensions of proposed front porch. The porch will need to meet the requirements of a either a stoop, portico, or porch from SZO 3.1.13.
3. Provide dimensions for the proposed front entry canopy to ensure compliance with SZO 3.1.13.e
4. Provide the distance between the proposed front porch and the rear corner of the principle dwelling on the property.
5. Provide the maximum ceiling height in the half story and the height above the finished floor of the half-story where the roof rafters intersect the wall plate or top of wall frame of the exterior walls to ensure compliance with SZO 2.4.4.a.viii.b
6. Per SZO 3.1.12.d, Utility services for the Backyard Cottage must be buried underground.

Please do not reply to this email. All resubmittals should be done using our online portal.

Please contact me with any questions you may have, I can be reached at or by email msarcione@somervillema.gov

Sincerely,

Matt Sarcione



PROPOSED TWO-FAMILY RENOVATION 21-23 FRANCESCA AVENUE SOMERVILLE, MASSACHUSETTS 02144

Zone NR			
Existing 2 Family House			
3.1.8 Detached House	Required	Provided	
Lot Dimensions	34 ft	101 ft (existing)	conforming
Lot Depth	80 ft	101 ft (existing)	conforming
Lot Development			
Lot Coverage (maximum)	60%	1,300 SF (existing)	conforming
Green Score	0.35 minimum	0.362	conforming
Building Setbacks			
Side Setback (front driveway access)	10 ft - 20 ft	12 ft (existing)	conforming
Sum of Side Setbacks (min)	3 ft	2 ft 4 in (existing) / 2 ft 4 in (existing)	conforming
Building Setback (min)	12 ft	15 ft 5 in (existing)	conforming
Mean House to 25-27 Francesca	20 ft	34 ft (existing)	conforming
Mean House to 17 Francesca	10 ft	21 ft 4 in	conforming
Frontal Bulk Out (minimum)	50%	40%	conforming
Water (minimum)	20 ft - 28 ft	47 ft - 1"	conforming
Depth (minimum)	28 ft - 48 ft	5 ft 6 in	conforming
Ground Story Elevation (min)	2 ft	9 ft 4 in (1st), 6 ft 7 in (2nd)	conforming
Story Height (minimum)	10 ft - 12 ft	10 ft	conforming
Minimum of 5' Elevation (min)	2.5	2.5	conforming
Facade Composition			
Ground Story Fenestration (minimum)	15% - 50%	24%	conforming
Upper Story Fenestration (minimum)	15% - 50%	16%	conforming
Use & Occupancy			
Dwelling Units per Lot (max)	3	2	conforming
Dwelling Units (max)	3	2	conforming
Minimum of 10' Elevation (min)	10 ft	2	conforming
Minimum of 10' Elevation (min)	10 ft	2	conforming
Required Units	0	0	conforming
0-2 Dwelling Units	0	0	conforming
Parking	none	0	conforming
Motor Vehicle Parking	none	0	conforming
Existing Driveway House/Barn	within 12 ft in Travel Area	2	conforming
3.1.12 Backyard Cottage			
Lot Dimensions			
Lot Width (front driveway access)	34 ft	50 ft (existing)	conforming
Lot Depth	80 ft	101 ft 5 in (existing)	conforming
Lot Development			
Lot Coverage (maximum)	60%	46%	conforming
Green Score	0.35 minimum	to be calculated	conforming
Building Setbacks			
Primary Front Setback (minimum)	50 ft (min)	74 ft (existing)	conforming
Side Setbacks	3 ft	15 ft 10 in (existing)	conforming
Mean House to Main House	3 ft	15 ft 10 in (existing)	conforming
Mean House to Garage House	10 ft	15 ft 10 in (existing)	conforming
Garage House to 17-19 Garage	10 ft	7 ft 4 in	conforming
Main Massing			
Mean (min)	32 ft	42 ft 5 in	conforming
Open (min)	32 ft	42 ft 5 in	conforming
Story Height (max)	12 ft	12 ft 5 in (existing)	conforming
Number of Stories (max)	1.5	1.5	conforming
Foot Type	Full Curb	Grid/Hip with Curb	conforming
Facade Composition			
Ground Story Fenestration Residential Unit (minimum)	15% - 50%	10%	conforming
Ground Story Fenestration Non-Residential Unit (minimum)	15% - 50%	0%	conforming
Upper Story Fenestration (minimum)	15% - 50%	10%	conforming
Use & Occupancy			
Dwelling Units per Lot (max)	3	2	conforming
Dwelling Units per Lot (max)	1	1	conforming

BUILDING CODE ANALYSIS

780 CMR per Edition - 2015 ICC with MA amendments

Use Group: R-3 (no change)

Construction Type: V

IEBC:

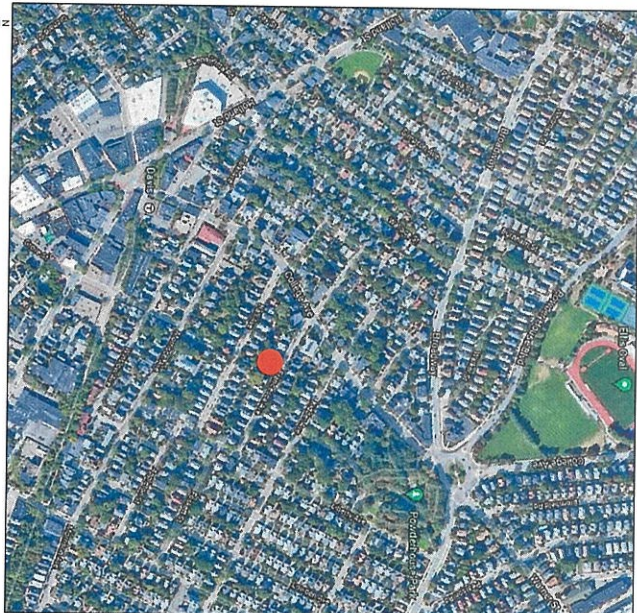
Proposed work is a Level 3 Alteration
801.3 All new construction elements, components, systems, and materials shall conform with the applicable provisions of the IEBC. Alterations shall conform with the applicable provisions of the IEBC. Alterations shall conform with the applicable provisions of the IEBC or IRC as they relate to new construction only.

IECC:

R310.1.1 Additions, alterations, or repairs to an existing building, building system or portion thereof shall comply with section R310.1.1 or R310.4. Unaltered portions of the existing building or building system shall not be required to comply with this code.

IRC:

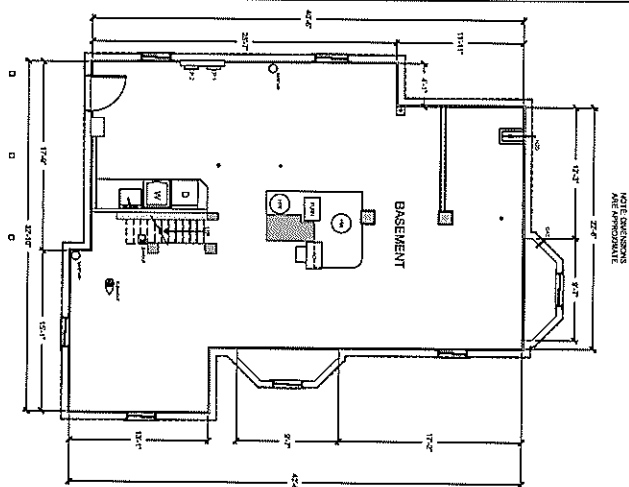
R310.1.1 Basements, habitable attic, and every sleeping room shall have at least one operable emergency escape and rescue window. R310.1.1 Dwelling shall be provided with a means of egress in accordance with section R311.1. Dwelling shall not be required to provide additional means of egress if the existing means of egress is not already provided with an automatic residential sprinkler system.



LOCUS MAP



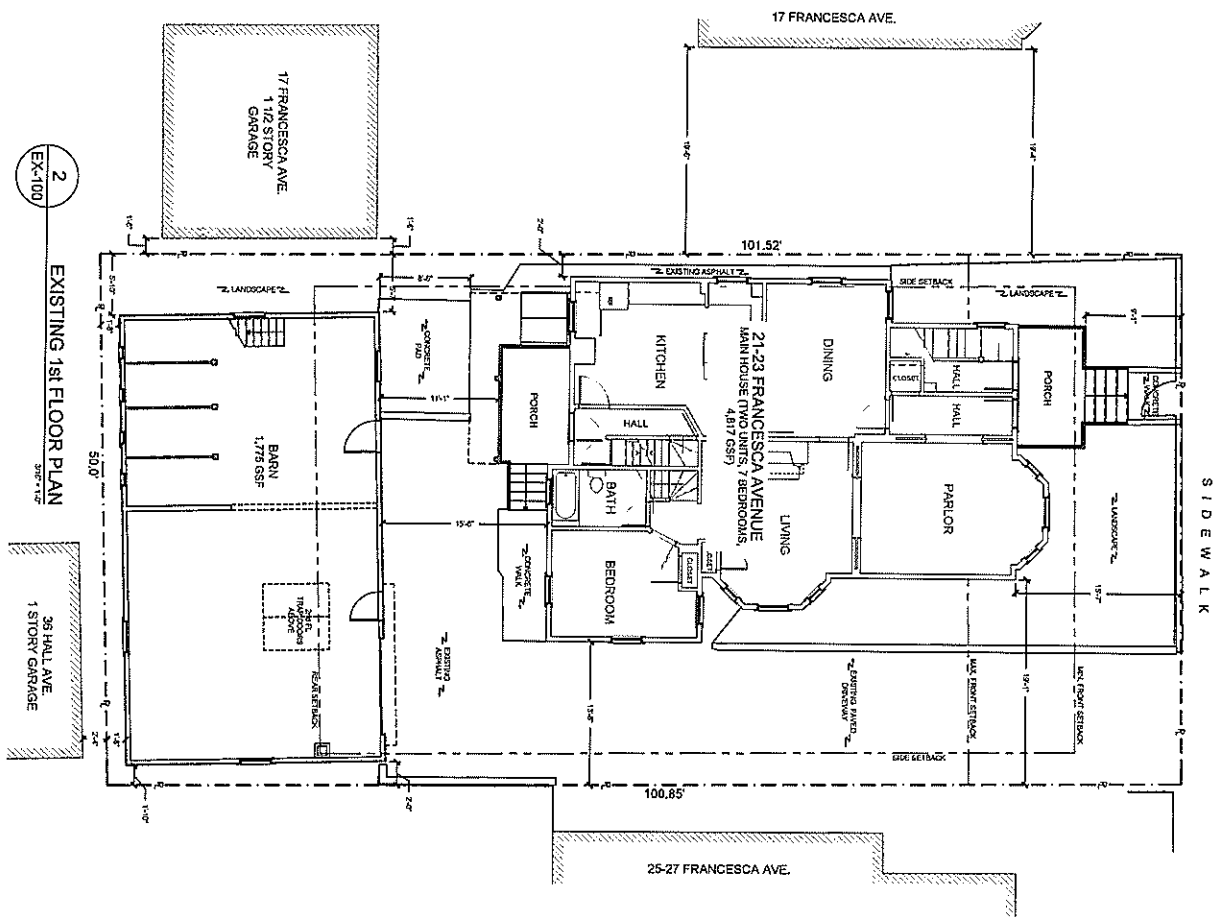
PROPOSED MASSING MODEL



1
EX-100

EXISTING BASEMENT PLAN

3/16" = 1'-0"



2
EX-100

EXISTING 1st FLOOR PLAN

3/16" = 1'-0"



PROJECT NUMBER 202037
CONTRACT NUMBER
EX-100
SCALE 3/16"=1'-0"
DATE 06.13.2022

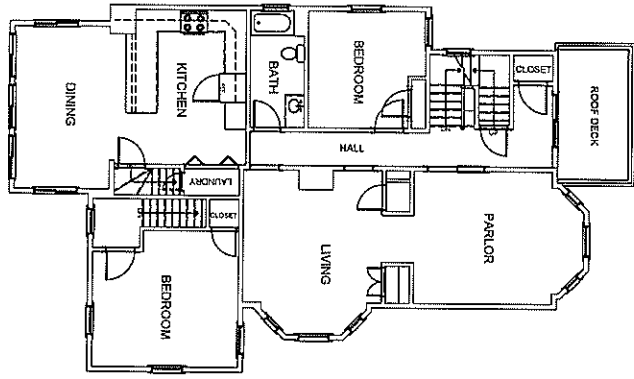
EXISTING PLANS
PROPOSED TWO-FAMILY RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144

MAXWELL ARCHITECTS, LLC
PLANNING | PROGRAMMING | DESIGN

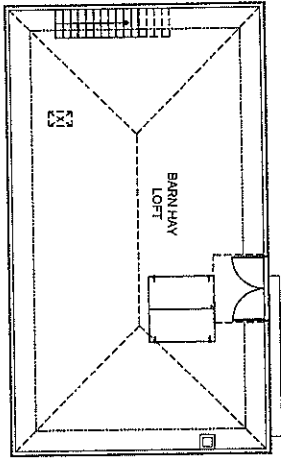
Architecture
Economic Planning
Project Management
Feasibility Programming

CG-Markus Group
Toronto Real Estate Consultants Ltd.

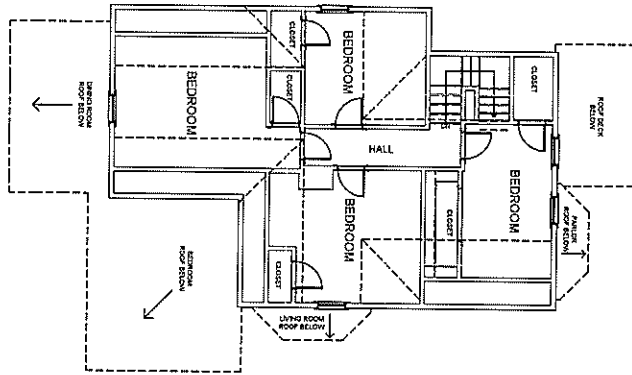
(416) 596-1222
(416) 596-0222 Fax



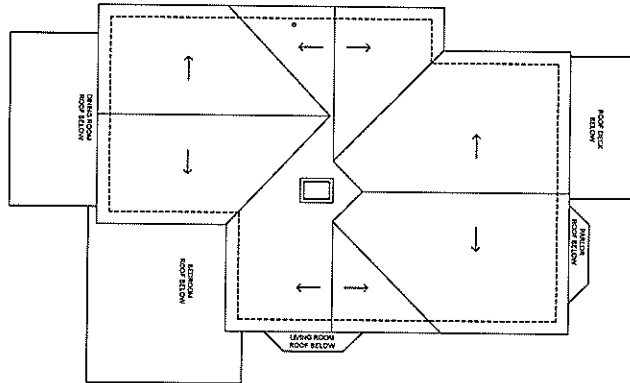
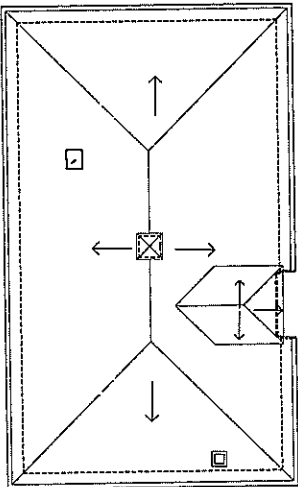
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EX-101
EXISTING 2nd FLOOR PLAN
3/16" = 1'-0"



2
EX-101
EXISTING 3rd FLOOR PLAN
3/16" = 1'-0"



3
EX-101
EXISTING ROOF PLAN
3/16" = 1'-0"

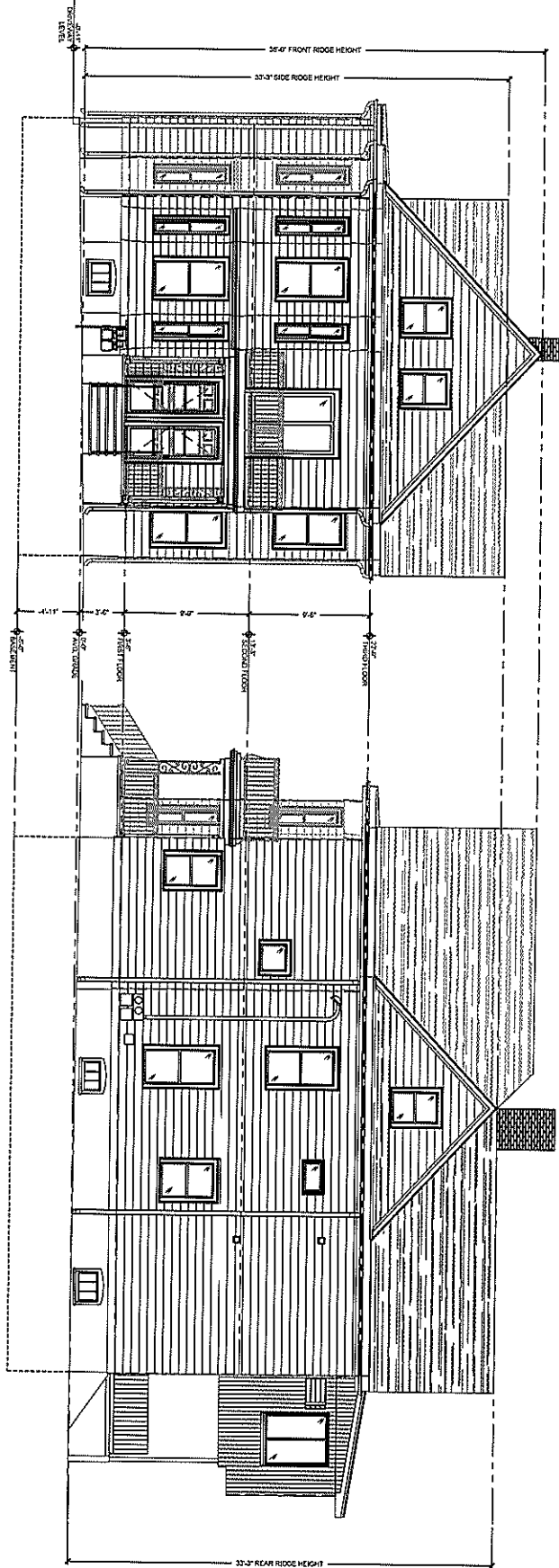


MAXWELL ARCHITECTS, LLC
2100337
EX-101
Scale: 3/16" = 1'-0"
Date: 05.13.2022



EXISTING PLANS
PROPOSED TWO-FAMILY RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144

MAXWELL ARCHITECTS, LLC
PLANNING / PROGRAMMING / DESIGN
Architect
Scale: Planning
Project: Renovation
File By: Programing
2100337
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1
EX-200
EXISTING FRONT (NORTH) ELEVATION
1/4" = 1'-0"

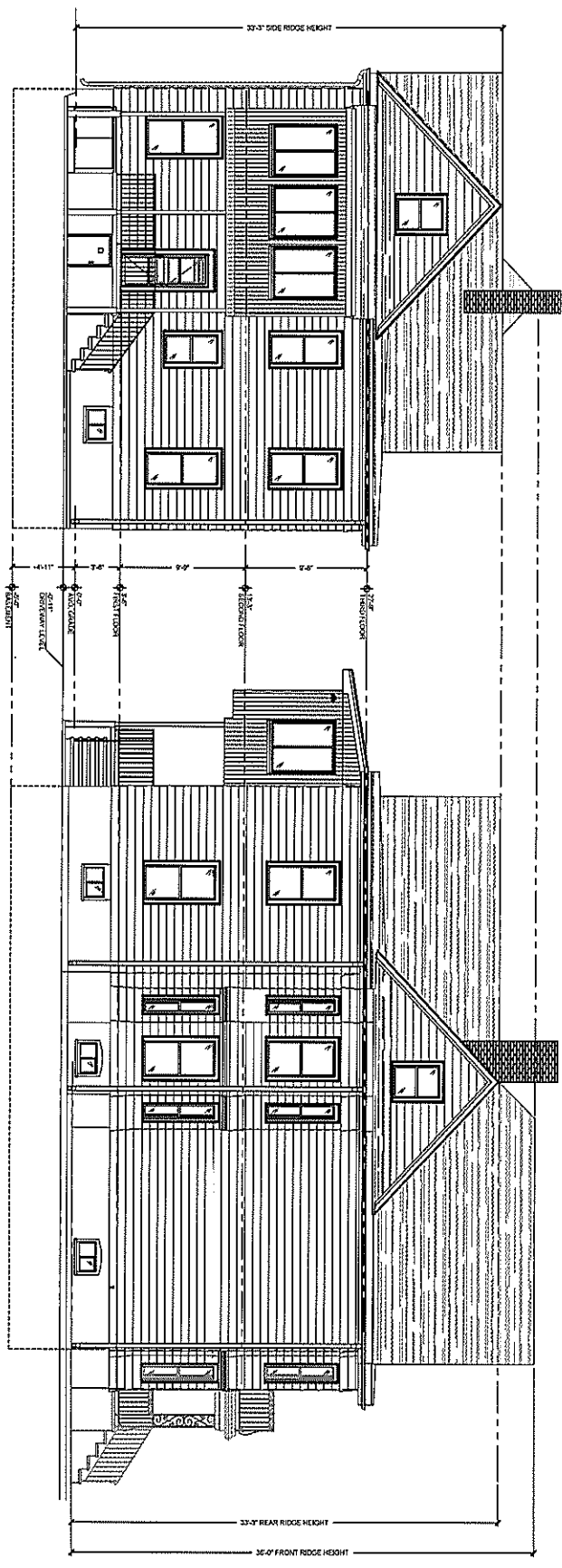
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EX-200
EXISTING SIDE (WEST) ELEVATION
1/4" = 1'-0"


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EX-201

EXISTING REAR (SOUTH) ELEVATION
1/4" = 1'-0"

2
EX-201

EXISTING SIDE (EAST) ELEVATION
1/4" = 1'-0"

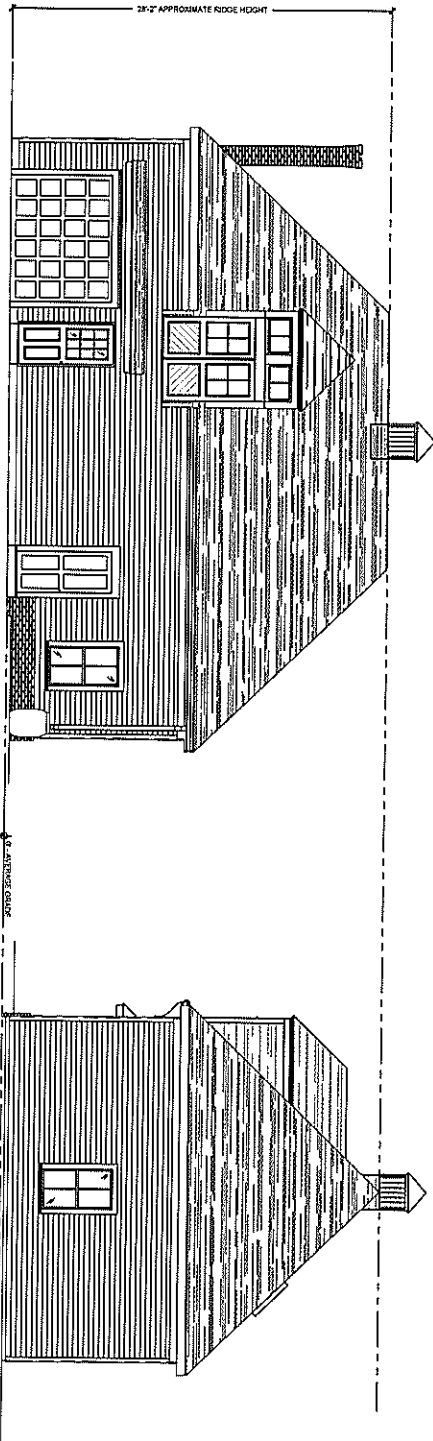




 Maxwell Architects, LLC
 202037
 State of Massachusetts
 EX-201
 Date: 1/4/14
 Rev: 06/13/2022

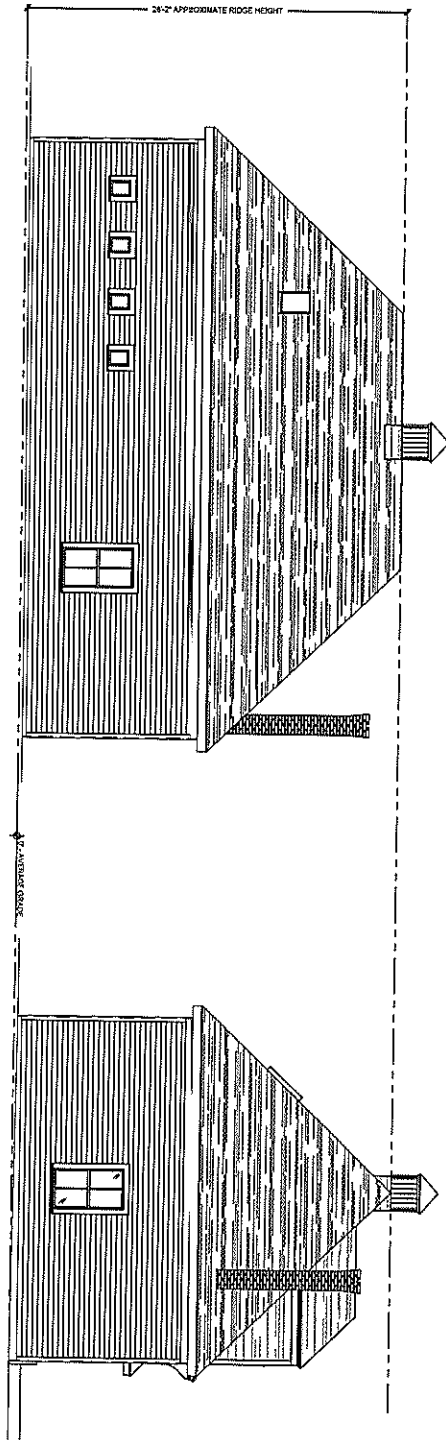
EXISTING PRIMARY STRUCTURE ELEVATIONS
 PROPOSED TWO-FAMILY RENOVATION
 ZEPEDA & JONG RESIDENCE
 21-23 FRANCESCA AVE.
 SOMERVILLE, MA 02144

MAXWELL ARCHITECTS, LLC
 PLANNING / PROGRAMMING / DESIGN
 Architecture
 Space Planning
 Project Management
 Interior Programming
 25 Market Street
 Somerville, Massachusetts 02144
 (617) 866-8222
 (617) 866-7744



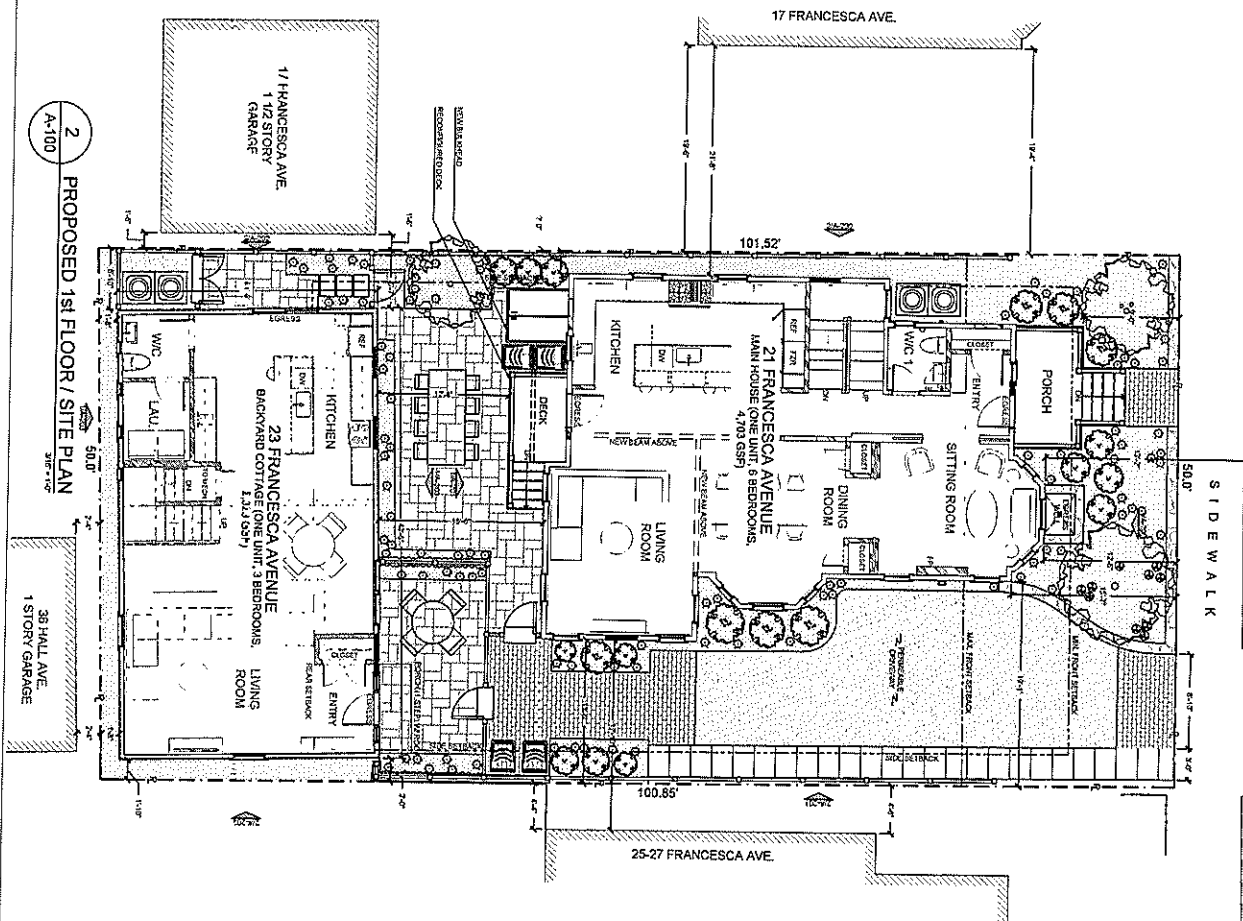
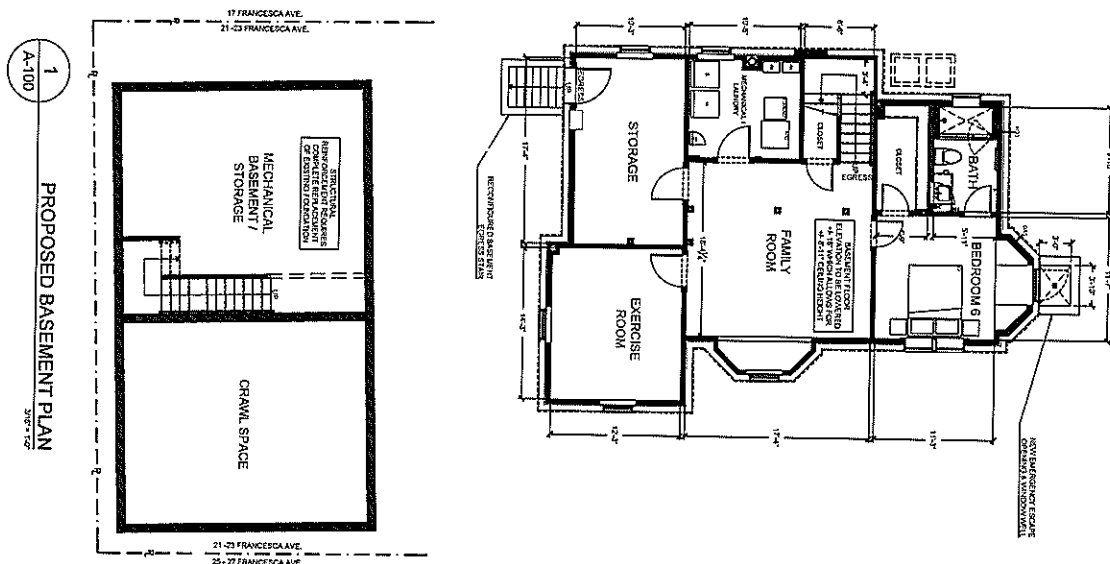
1
EX-202 BACKYARD COTTAGE
EXISTING FRONT (NORTH) ELEVATION
1/8" = 1'-0"

2
EX-202 BACKYARD COTTAGE
EXISTING SIDE (WEST) ELEVATION
1/8" = 1'-0"



1
EX-203 BACKYARD COTTAGE
EXISTING REAR (SOUTH) ELEVATION
12' x 14'

2
EX-203 BACKYARD COTTAGE
EXISTING SIDE (EAST) ELEVATION
12' x 14'



LEARNING OBJECTIVES

1. DRAW A CURVED ARROW
2. ASK AN ORBITAL QUESTION
3. DRAW A CURVED ARROW
4. ASK AN ORBITAL QUESTION
5. ASK A BONDING QUESTION
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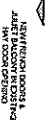
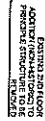
MAXWELL ARCHITECTS, LLC
PLANNING/PROGRAMMING/DESIGN

25 Ardour Court
Salem, Massachusetts 01970
(617) 956-6222

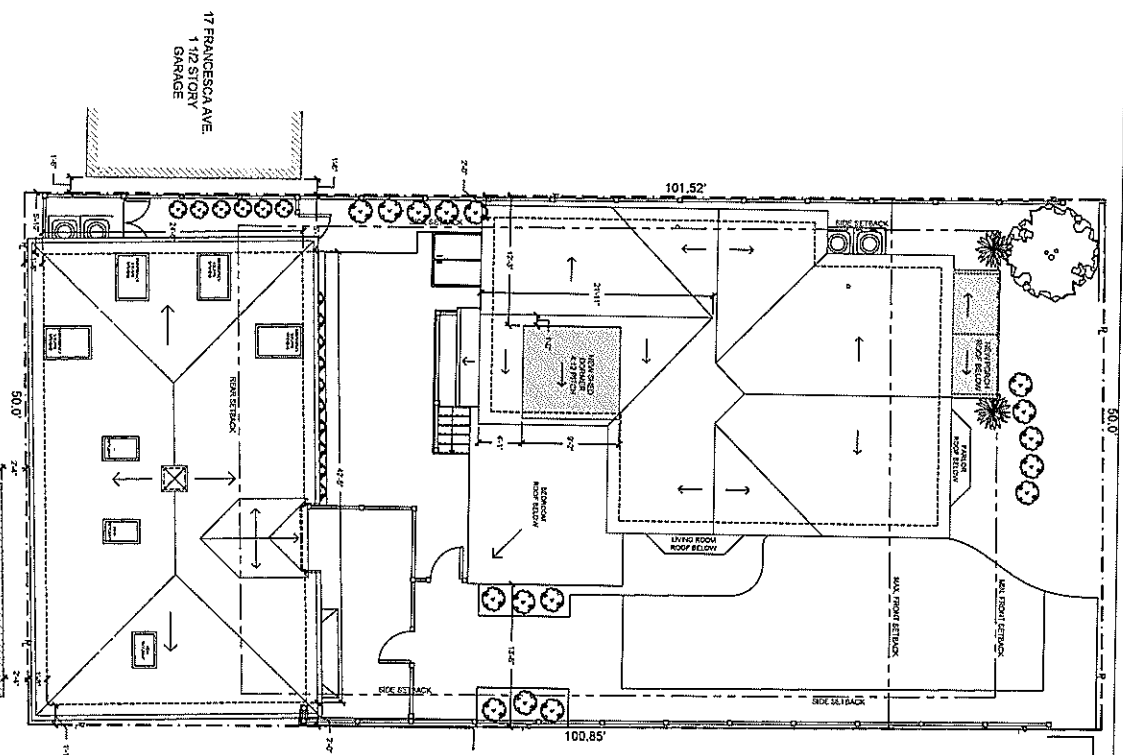
PROPOSED FLOOR PLANS
PROPOSED TWO-FAMILY RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144

A-100

06.13.2022

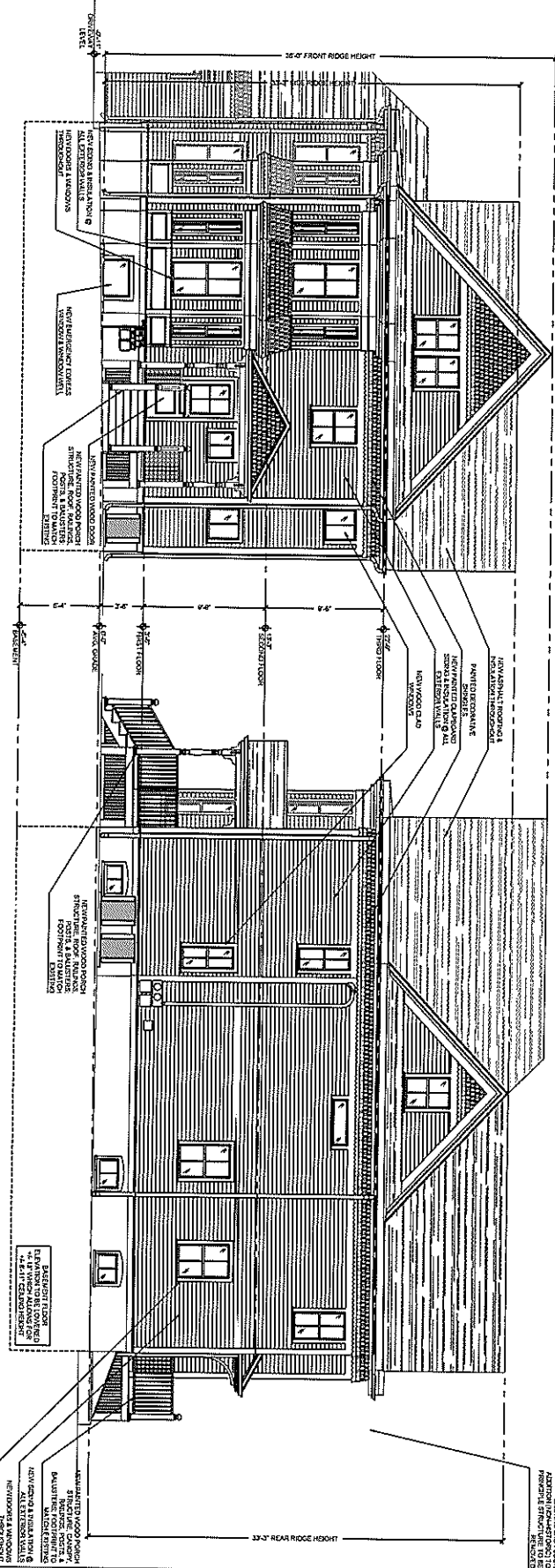


3
A-101
PROPOSED ROOF PLAN
3/17/10



12 Signature Stamp
 Thomas B. Greenbaum 3/3/84
 (217) 666-6727
 (217) 666-6727 x14

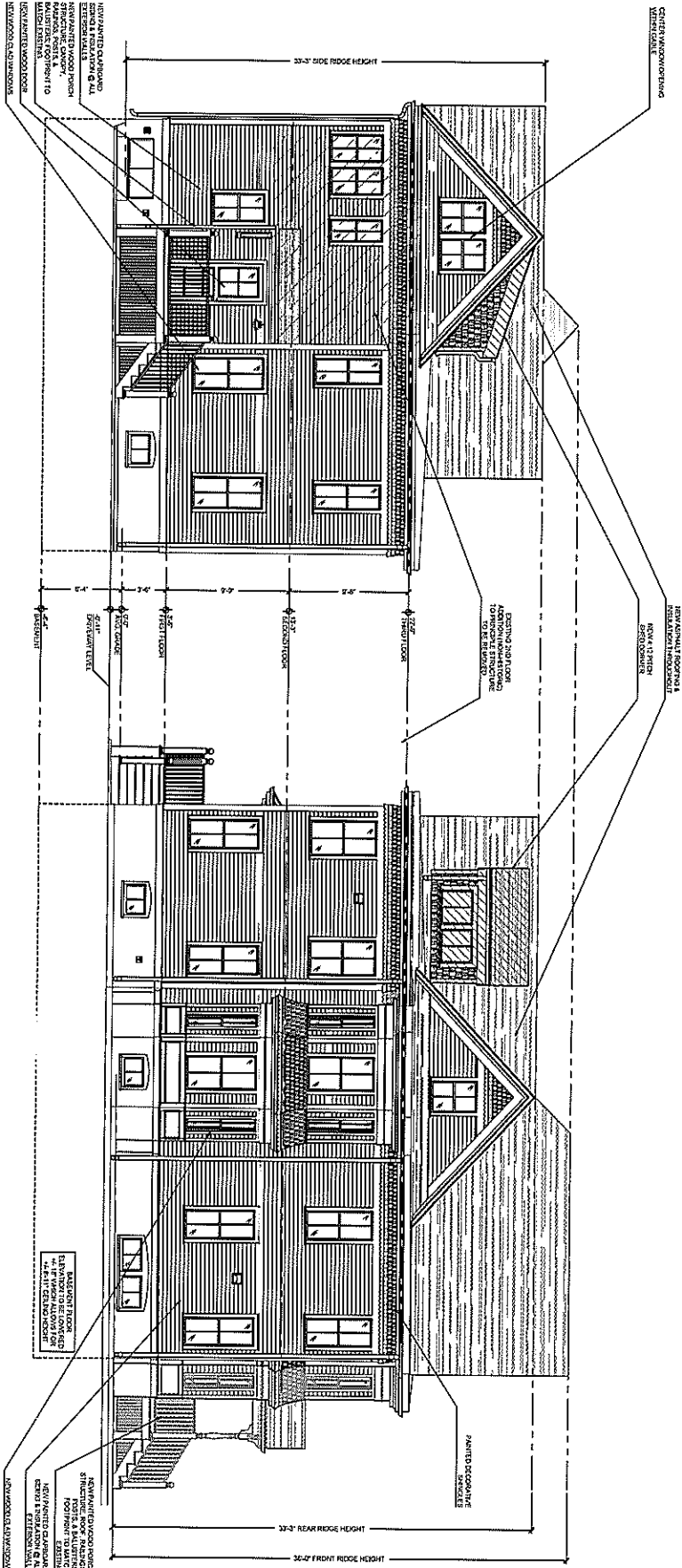
- **Accounting**
- **Business Planning**
- **Project Management**
- **Quality Management**



Architektur
Neue Planung
Projekt Management
Software Programmierung

20 Wenden Close
Surrey Hills, Newbury, Berkshire RG14 5AL

0117 906 4227
0117 906 4013 fax



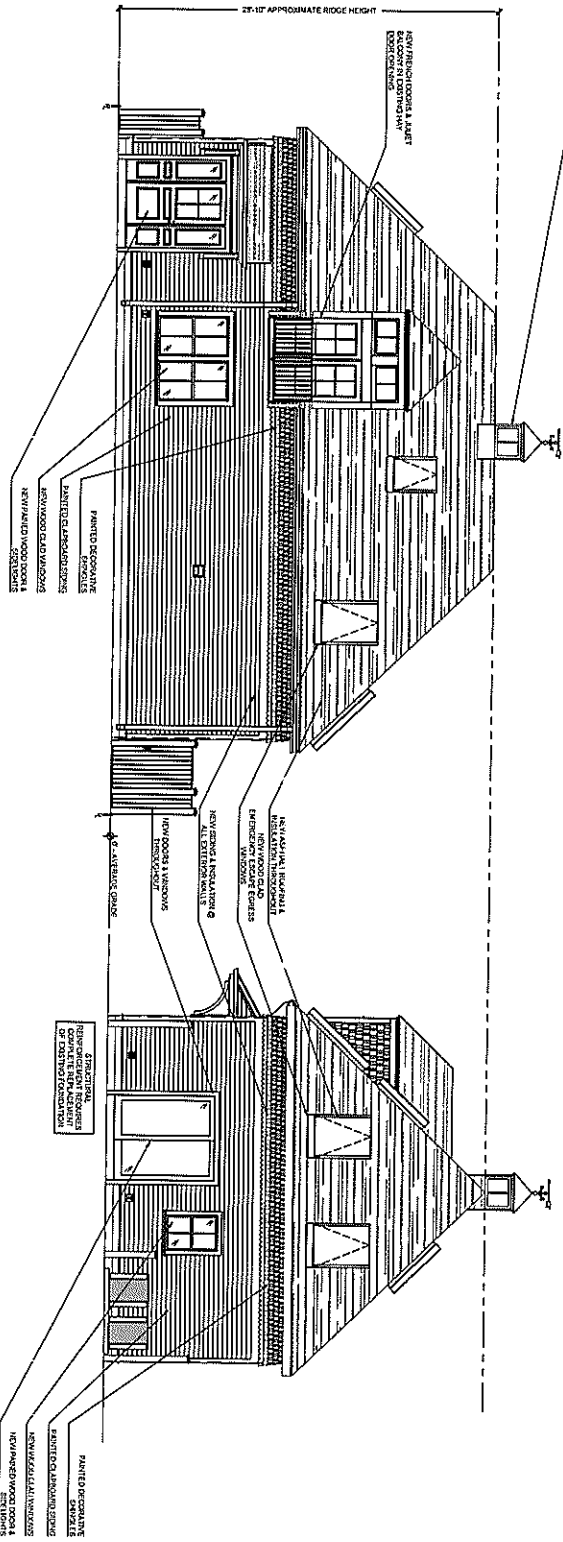
1
A-201
PROPOSED REAR (SOUTH) ELEVATION
1/4\"/>

2
A-201
PROPOSED SIDE (EAST) ELEVATION
1/4\"/>

PROPOSED PRIMARY STRUCTURE ELEVATIONS
 PROPOSED TWO-FAMILY RENOVATION
 ZEPEDA & JONG RESIDENCE
 21-23 FRANCESCA AVE.
 SOMERVILLE, MA 02144

MAXWELL ARCHITECTS, LLC
 PLANNING / PROGRAMMING / DESIGN
 Architect
 Todd Houghton
 Project Manager
 Emily Houghton
 35 Bedford Street
 Somerville, MA 02144
 617.666.1222
 617.666.1222 FAX

PROJECT NAME 2020037
 SHEET 14 OF 15
 DATE 05.13.2022
 A-201



1
A-202
PROPOSED FRONT (NORTH) ELEVATION
DATE: 11-1-22

2
A-202
PROPOSED SIDE (WEST) ELEVATION
DATE: 11-1-22



City of Somerville

ZONING BOARD OF APPEALS

City Hall 3rd Floor, 93 Highland Avenue, Somerville MA 02143

AGENDA

Wednesday, September 21, 2022 at 6:00 pm

The meeting will be held using GoToWebinar.
TO USE A COMPUTER

Link: <https://attendee.gotowebinar.com/register/10369919652208140>
Webinar ID: 932-908-051

TO CALL IN

Phone number: 1 (914) 614-3221
Access code: 765-761-656

Pursuant to Chapter 107 of the Acts of 2022, this meeting of the Somerville Zoning Board of Appeals will be conducted via remote participation. A recording of these proceedings can be accessed at any time using the registration link at the top of this agenda.

GENERAL BUSINESS

Approval of minutes

- None

Rescheduled or withdrawal of advertised public hearings

- None

PUBLIC HEARINGS

10 Oak Street (P&Z 21-132) *(continued from September 7, 2022) (will be continued to October 12, 2022)*
Fidelis Bridge Loan Venture V REO LLC seeks an extension to a previously issued Special Permit (ZBA 2018-10) in the Urban Residential (UR) District.

21 Francesca Avenue (P&Z 21-031) *(will be continued to October 12, 2022)*
Manuel Zepeda and Katherine Jong propose to establish a Backyard Cottage in the Neighborhood Residence (NR) district which requires Site Plan Approval.

OTHER BUSINESS

- None

Plans and reports are available to view at the City of Somerville website via the following link:
<https://www.somervillema.gov/departments/ospcd/planning-and-zoning/reports-and-decisions>

Individuals with disabilities who need auxiliary aids and services for effective communication, written materials in alternative formats, or reasonable modifications in policies and procedures, in order to access the programs and activities of the City of Somerville or to attend meetings, should contact Nancy Bacci, at 617-625-6600 x2250 or nbacci@somervillema.gov.

PROPOSED BACKYARD COTTAGE RENOVATION

21-23 FRANCESCA AVENUE

SOMERVILLE, MASSACHUSETTS 02144

OWNER
Manuel Zepeda & Katherine Jong
21 Francesca Avenue
Somerville, MA 02144
617.233.7227

ARCHITECT
Marc A. Maxwell, AIA
Principal Architect

John Williams, AIA
Project Architect

Maxwell Architects LLC
20 Windom Street
Somerville, MA 02145
617.666.9222

STRUCTURAL ENGINEER
Structures North Consulting Engineers, Inc.
60 Washington Street, Suite 401
Salem, MA 01970
978.745.6817

BUILDING CODE ANALYSIS:

780 CMR 9th Edition - 2015 ICC with MA amendments

Use Group: R-3 (*no change*)
Construction Type: V

IEBC:
Proposed work is a Level 3 Alteration
801.3 All new construction elements, components, systems, and spaces shall comply with the requirements of the IBC.
908.1 Level 3 alterations to existing buildings or structures are permitted without requiring the entire or structure to comply with the energy requirements of the IECC or IRC. The alterations shall conform to the energy requirements of the IECC or IRC as they relate to new construction only.

IECC:
R501.1.1 Additions, alterations, or repairs to an existing building, building system or portion thereof shall comply with section R502, R503 or R504. Unaltered portions of the existing building or building supply system shall not be required to comply with this code.
Insulation and fenestration requirements by component:
-Climate zone 5
-Fenestration U-factor: .30
-Skylight U-factor: .55
-Ceiling R-value: 49 (See R402.2.2 for ceilings without attic spaces, R-30 min)
-Wood frame wall R-value: 20 or 13+5ci
-Mass wall R-value: 13/17
-Floor R-value: 30 (Or fill framing cavity, R-19 min)
-Basement wall R-value: 15/19
-Slab R-value & depth: 10, 4"
-Crawl space wall R-value: 15/19

IRC:
R310.1 Basements, habitable attics, and every sleeping room shall have not less than one operable emergency escape and rescue opening.
R311.1 Dwellings shall be provided with a means of egress in accordance with section R311.
R313.2 Only one- and two-family dwellings having an aggregate area greater than 14,400 SF shall have fire sprinklers installed in accordance with NFPA 13D
R313.2.1 Automatic residential fire sprinkler systems shall be designed and installed in accordance with Section NFPA 13D

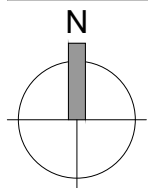
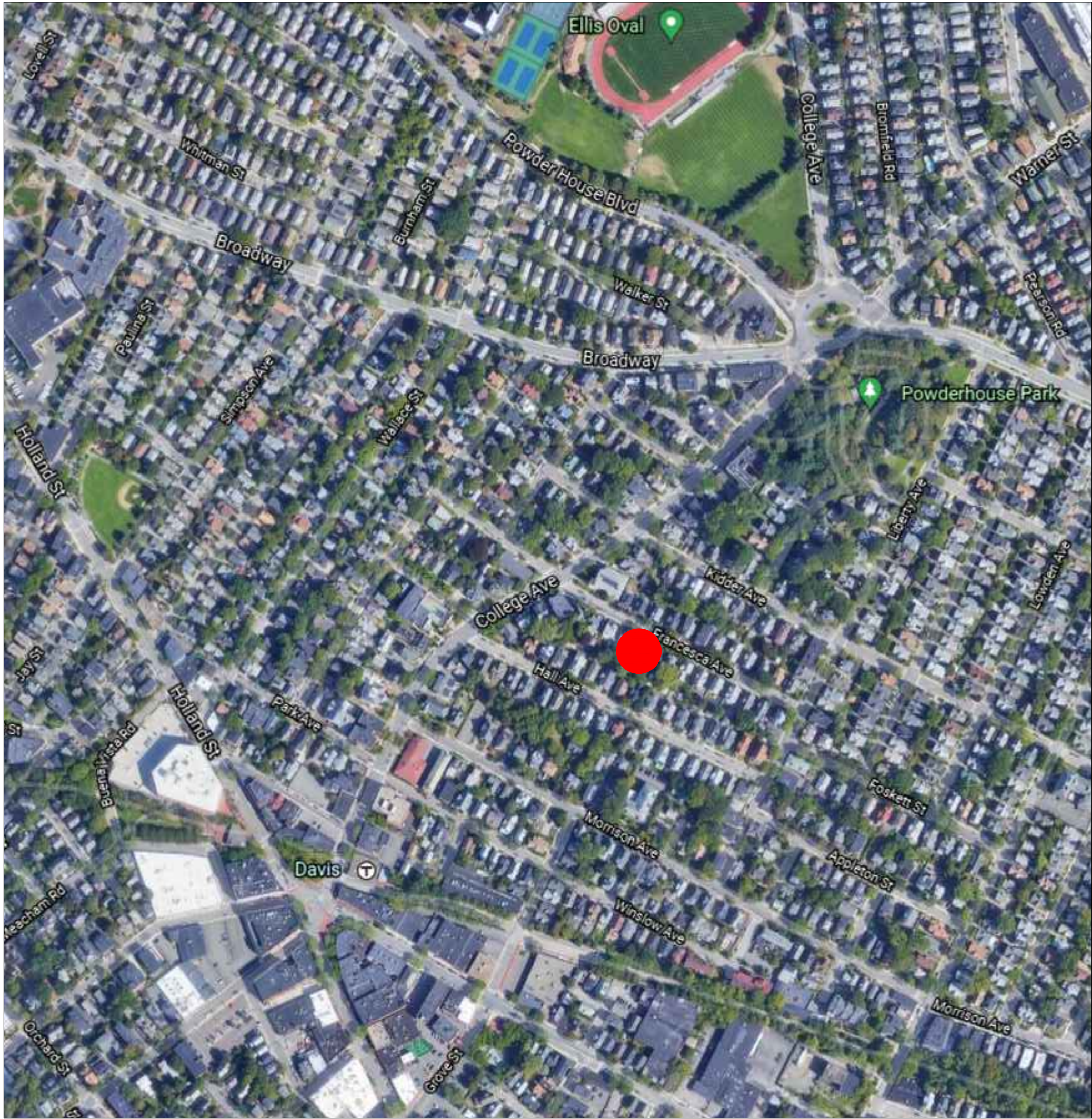
PROJECT NARRATIVE:

This project consists of a full gut renovation of the existing barn structure on the property and convert it to a Backyard Cottage (1 dwelling unit). All existing MEP-FA systems will be replaced with new high efficiency systems to meet current building codes and standards. Insulation and energy conservation components will also be upgraded to meet current building codes and standards. The existing barn requires extensive structural modification and reinforcement to accommodate the conversion and preserve the existing building; including a full foundation replacement. Expansive existing asphalt will be removed and replaced with green score compliant landscaping and permeable surfaces.

ZONING ANALYSIS

Zone: NR

Existing Carriage House/Barn			
3.1.12 Backyard Cottage	Required	Provided	
Lot Dimensions			
Lot Width (front driveway access)	34 ft	50 ft (existing)	conforming
Lot Depth	80 ft	101.52 ft (existing)	conforming
Lot Development			
Lot Coverage (maximum)	60%	49%	conforming
Green Score	0.35 minimum	0.38	conforming
Building Setbacks			
Primary Front Setback (min/max)	60 ft (min)	74'-9" (existing)	conforming
Side Setbacks	3 ft	1'-10" east	existing non-conforming
	3 ft	5'-7" west	conforming
Rear Setback (min) Main House	3 ft	1'-8"	existing non-conforming
Building Separation (min)			
Main house to Carriage House	10 ft	15'-6"	conforming
Carriage House to 17-19 Garage	10 ft	7'-1"	existing non-conforming
Main Massing			
Width (max)	24 ft	42'-5"	existing non-conforming
Depth (max)	32 ft	24'-5"	conforming
Floor Plate (max)	576 sf	975 sf (existing)	existing non-conforming
Story Height (max)	12 ft	10'-9" (existing)	conforming
Number of Stories (max)	1.5	1.5	conforming
Roof Type	Flat, Gable	Gable/Hip with Cupola	conforming
Façade Composition			
Ground Story Fenestration Residential Use (min/max)	15%- 50%	19%	conforming
Ground Story Fenestration Vehicular Parking (min/max)	0%- 50%	0%	conforming
Upper Story Fenestration (min/max)	15%-50%	NA	
Use & Occupancy			
Dwelling Units per Lot (max)	3	2	conforming
Dwelling Units (max)	1	1	conforming



LOCUS MAP



PROPOSED MASSING MODEL

MAXWELL ARCHITECTS, LLC
PLANNING / PROGRAMMING / DESIGN
Architecture
Space Planning
Project Management
Facility Programming
20 Windom Street
Somerville, MA 02144
(617) 666-9222
(617) 666-4557 FAX

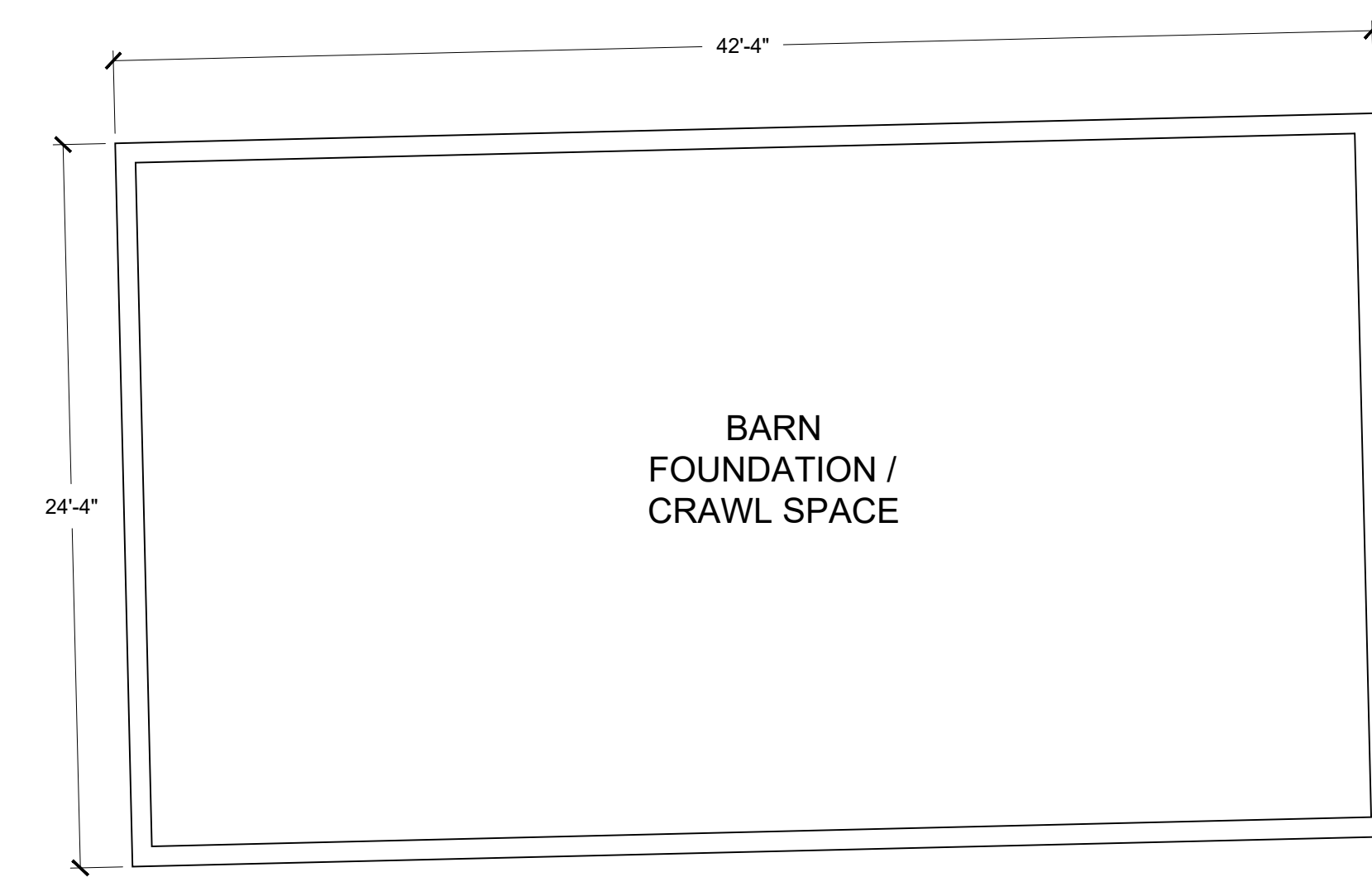
PROPOSED ZONING ANALYSIS, LOCUS, & MASSING
PROPOSED RESIDENTIAL RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144



PROJECT NUMBER: 202037
DRAWING NUMBER:

T-100

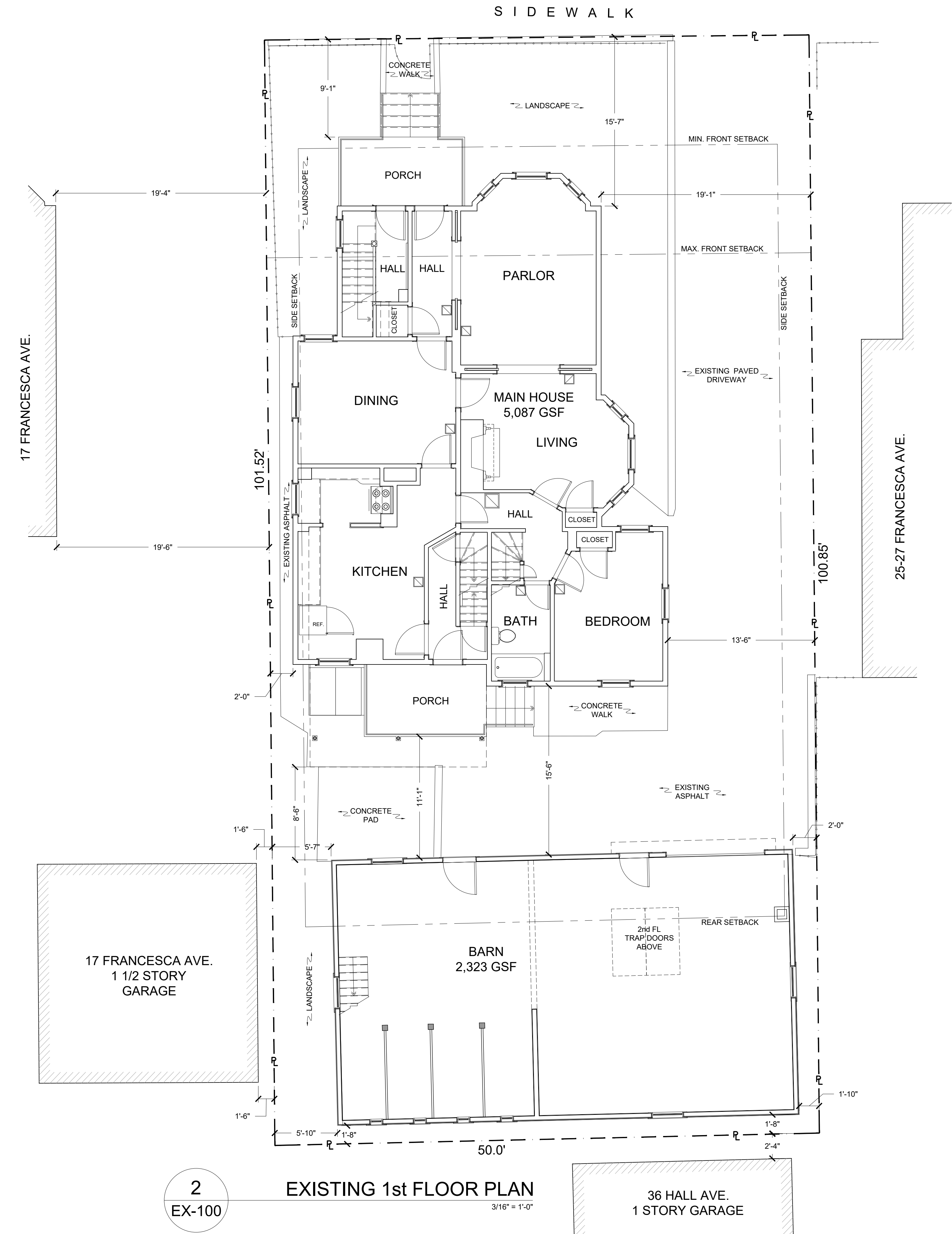
SCALE: AS NOTED
DATE: 09.16.2022



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EX-100

EXISTING BASEMENT PLAN

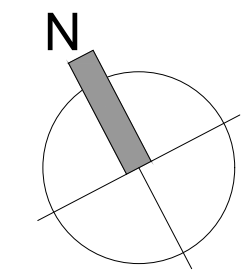
3/16" = 1'-0"



2
EX-100

EXISTING 1st FLOOR PLAN

3/16" = 1'-0"



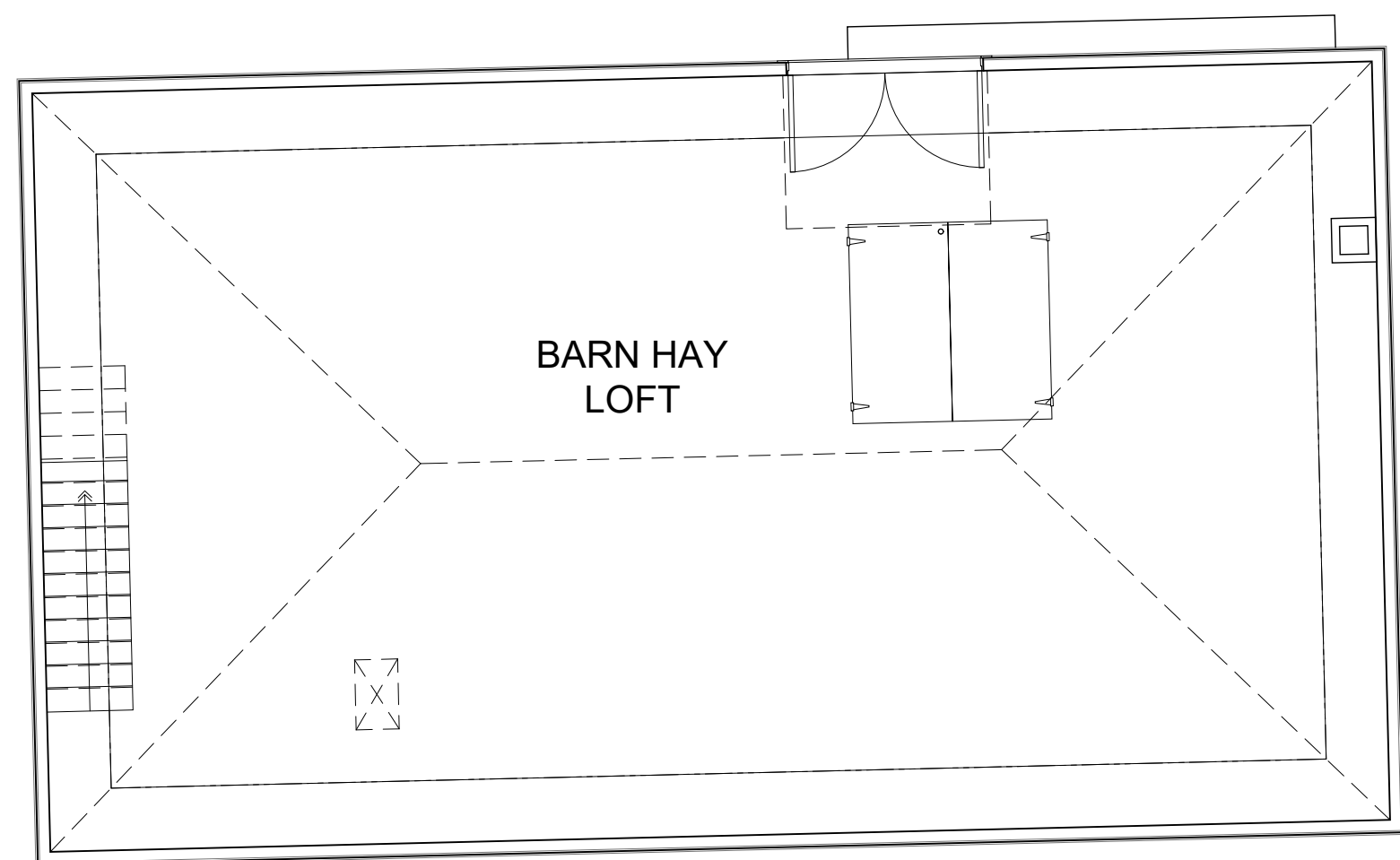
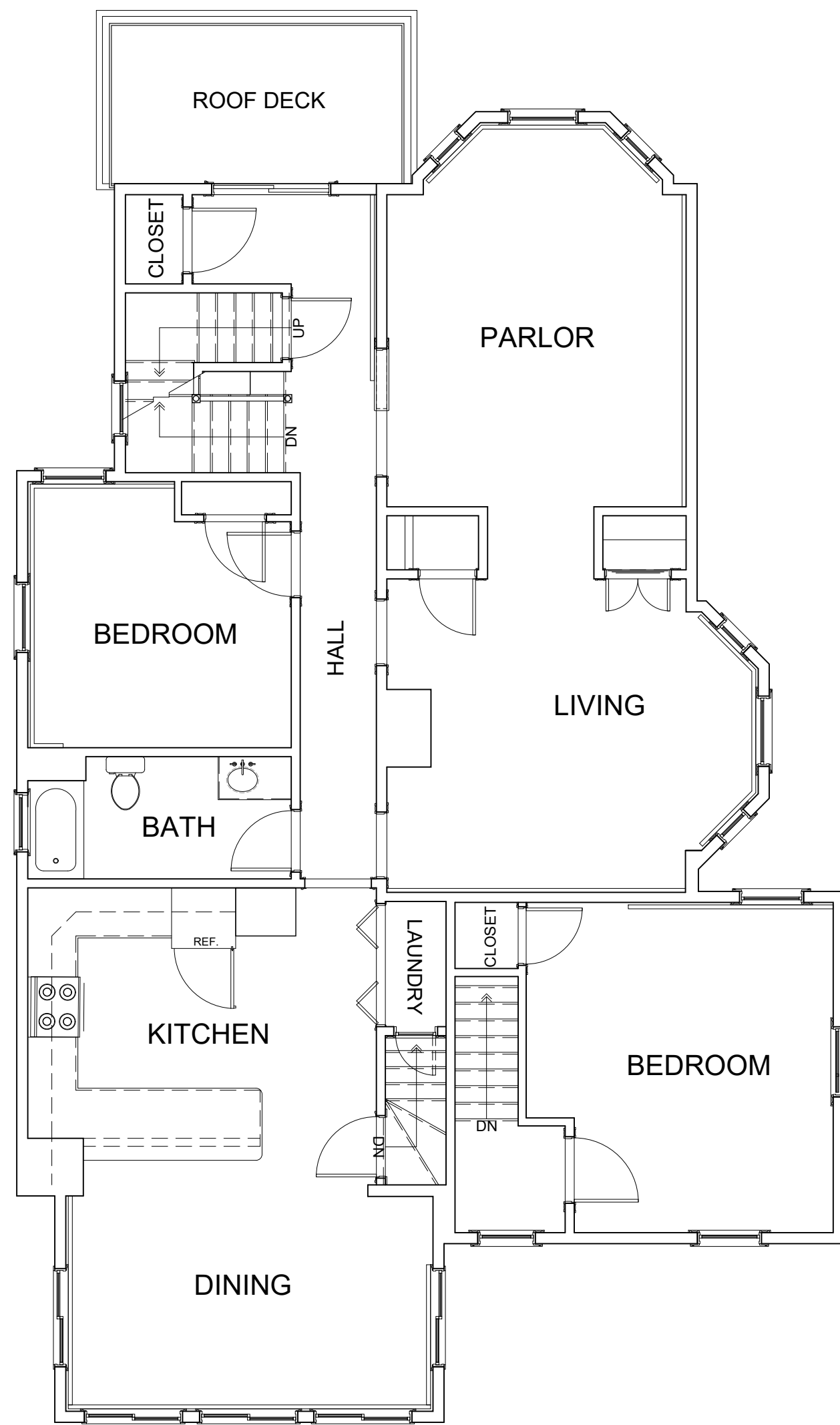
EXISTING PLANS
PROPOSED TWO-FAMILY RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144



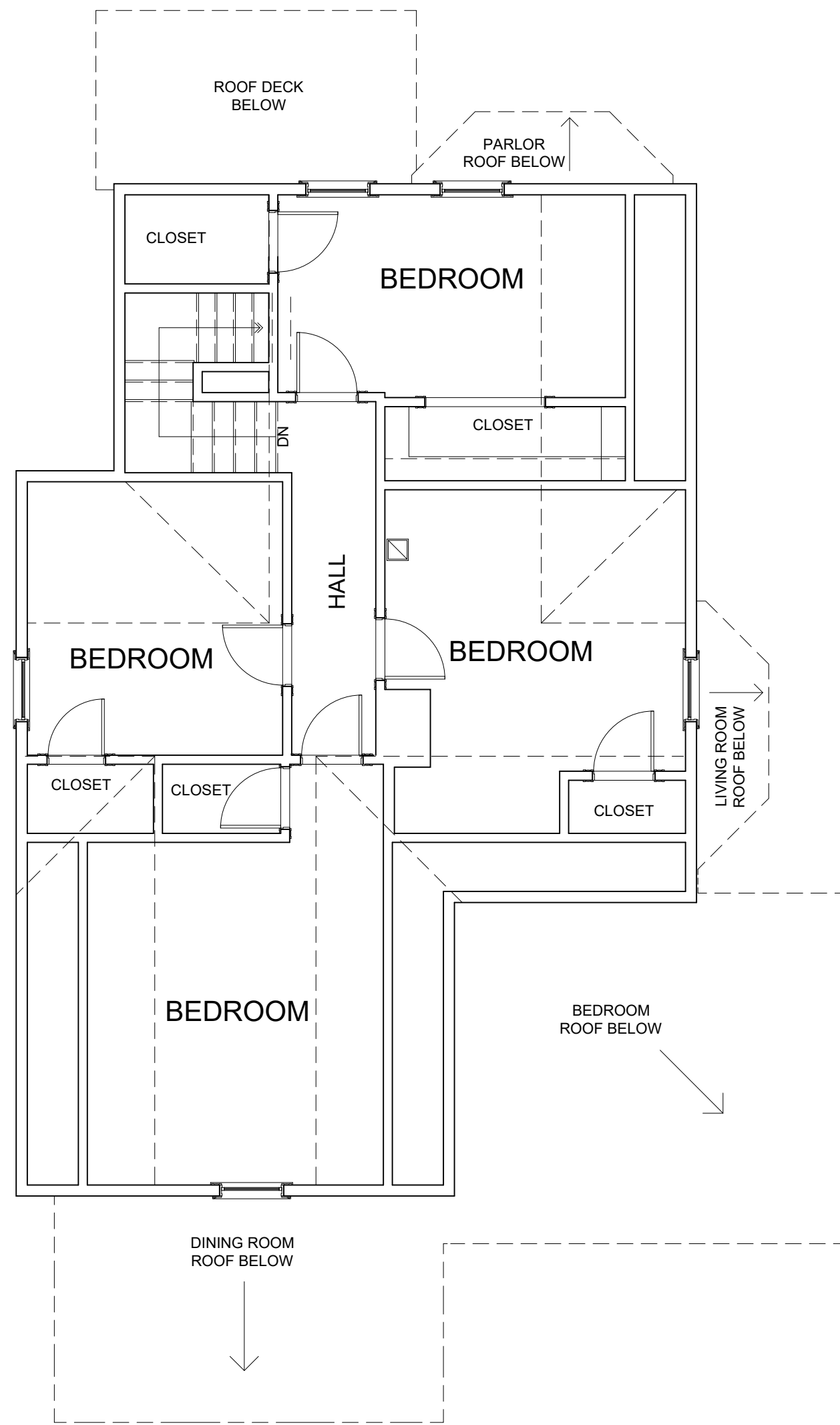
PROJECT NUMBER: 202037
DRAWING NUMBER:

EX-100

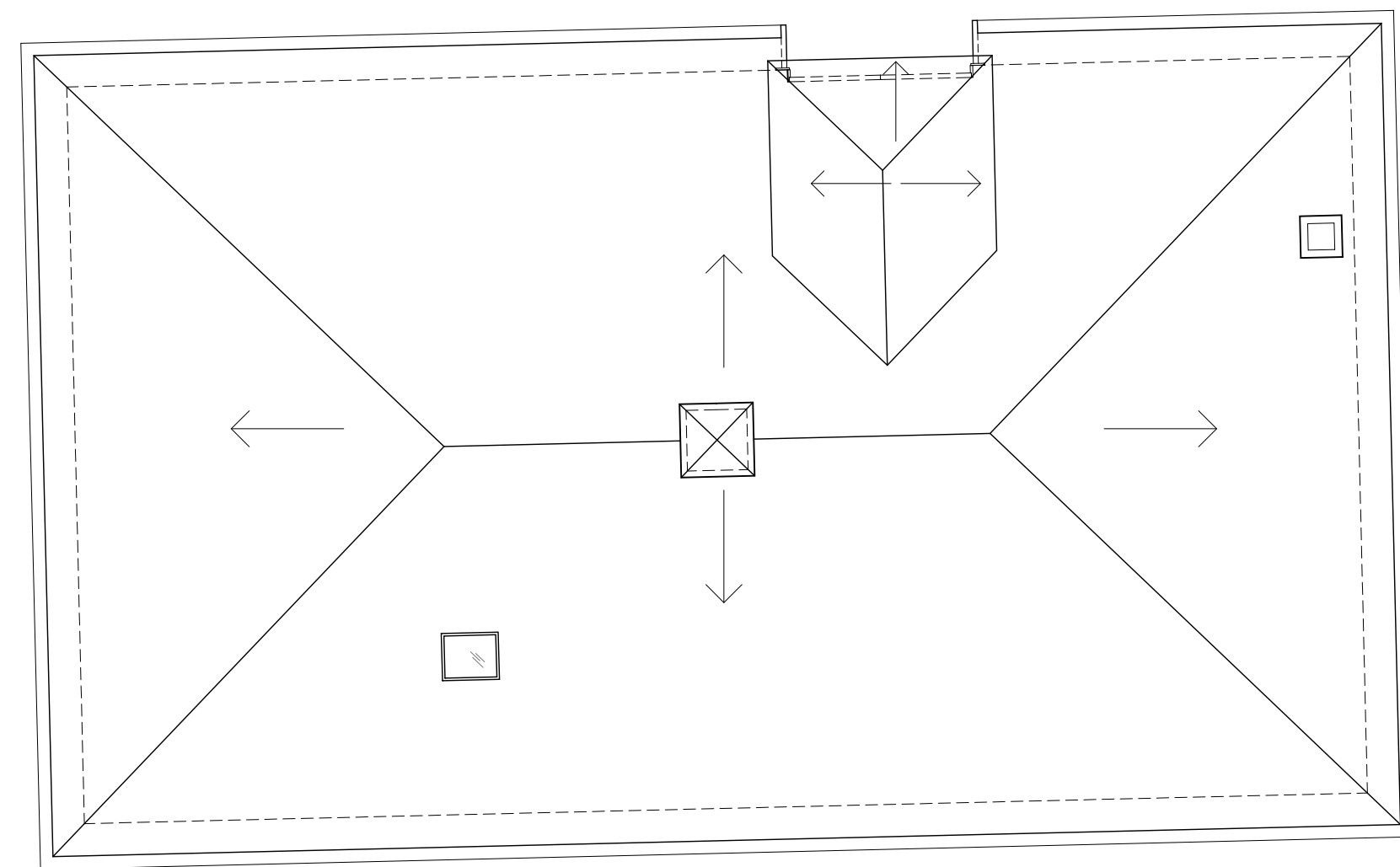
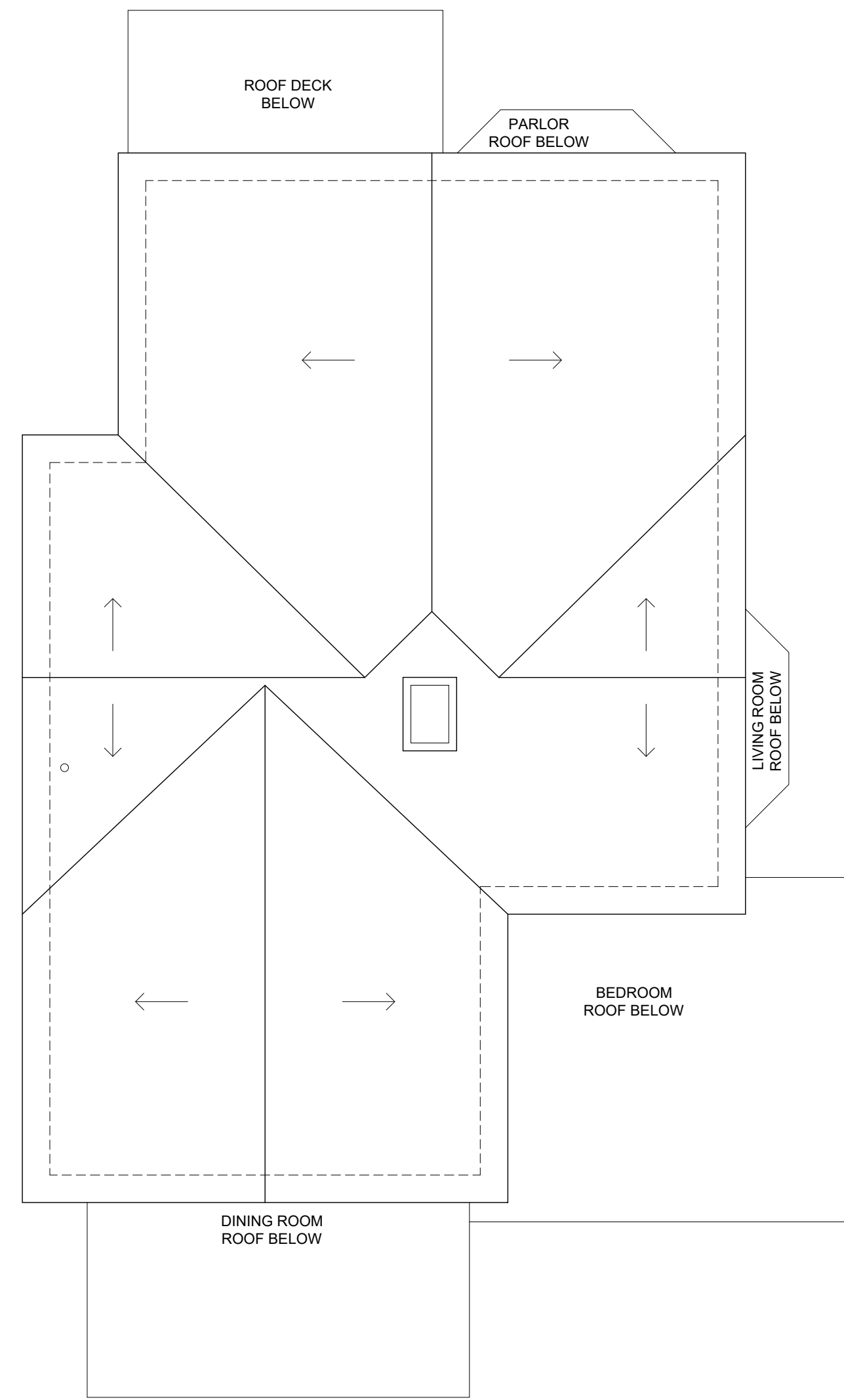
SCALE: 3/16"=1'-0"
DATE: 09.16.2022



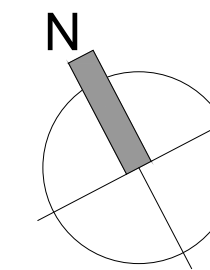
1
EX-101
EXISTING 2nd FLOOR PLAN
3/16" = 1'-0"



2
EX-101
EXISTING 3rd FLOOR PLAN
3/16" = 1'-0"



3
EX-101
EXISTING ROOF PLAN
3/16" = 1'-0"



EXISTING PLANS
PROPOSED TWO-FAMILY RENOVATION
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SOMERVILLE, MA 02144



PROJECT NUMBER: 202037
DRAWING NUMBER:
EX-101
SCALE: 3/16"=1'-0"
DATE: 09.16.2022

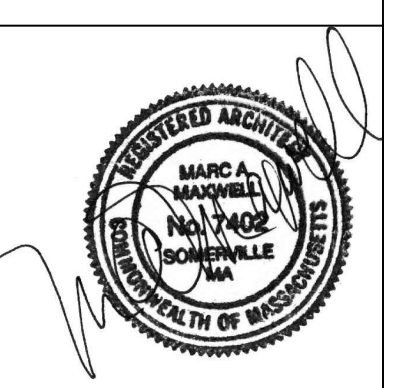
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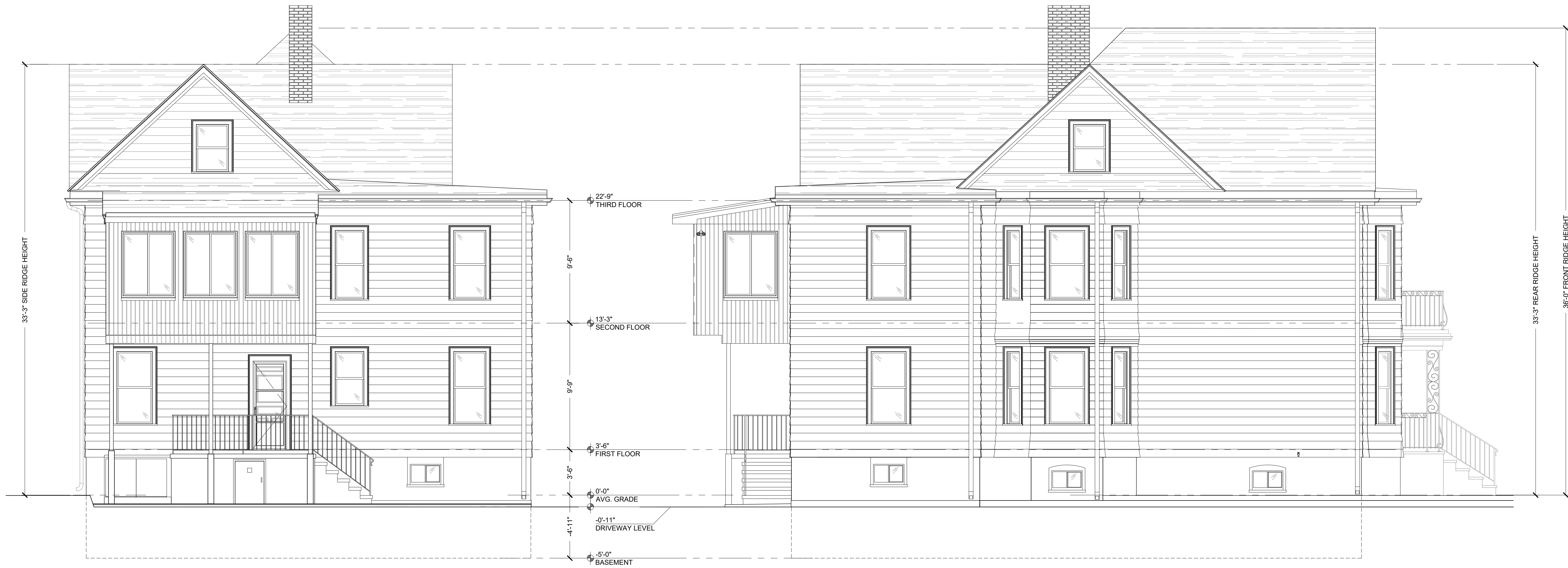
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1
EX-200
EXISTING FRONT (NORTH) ELEVATION
1/4" = 1'-0"

2
EX-200
EXISTING SIDE (WEST) ELEVATION
1/4" = 1'-0"



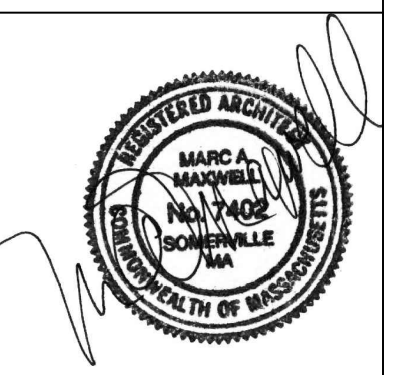


1
EX-201
EXISTING REAR (SOUTH) ELEVATION
1/4" = 1'-0"

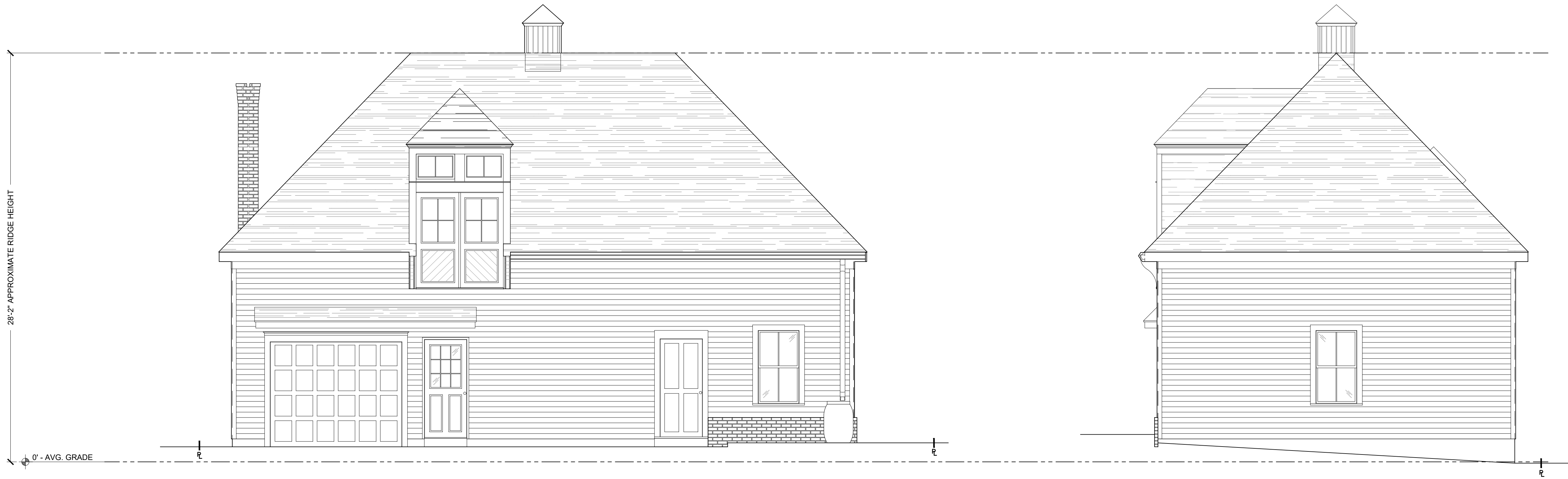
2
EX-201
EXISTING SIDE (EAST) ELEVATION
1/4" = 1'-0"

EXISTING PRIMARY STRUCTURE ELEVATIONS
PROPOSED TWO-FAMILY RENOVATION
ZEPEDA & JONG RESIDENCE
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DRAWING NUMBER:
EX-201
SCALE: 1/4"=1'-0"
DATE: 09.16.2022



1
EX-202

BACKYARD COTTAGE
EXISTING FRONT (NORTH) ELEVATION

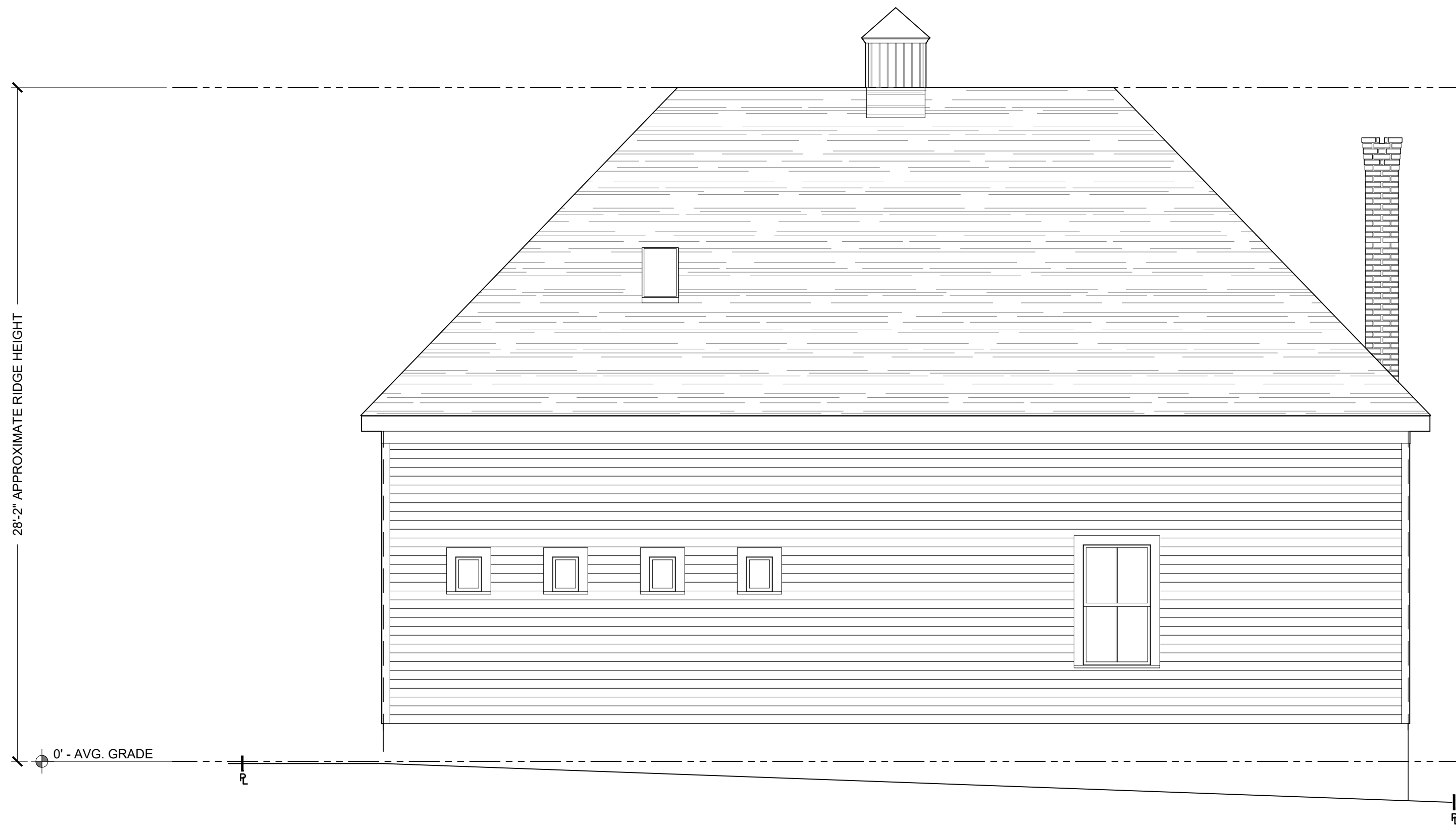
1/4" = 1'-0"

2
EX-202

BACKYARD COTTAGE
EXISTING SIDE (WEST) ELEVATION

1/4" = 1'-0"

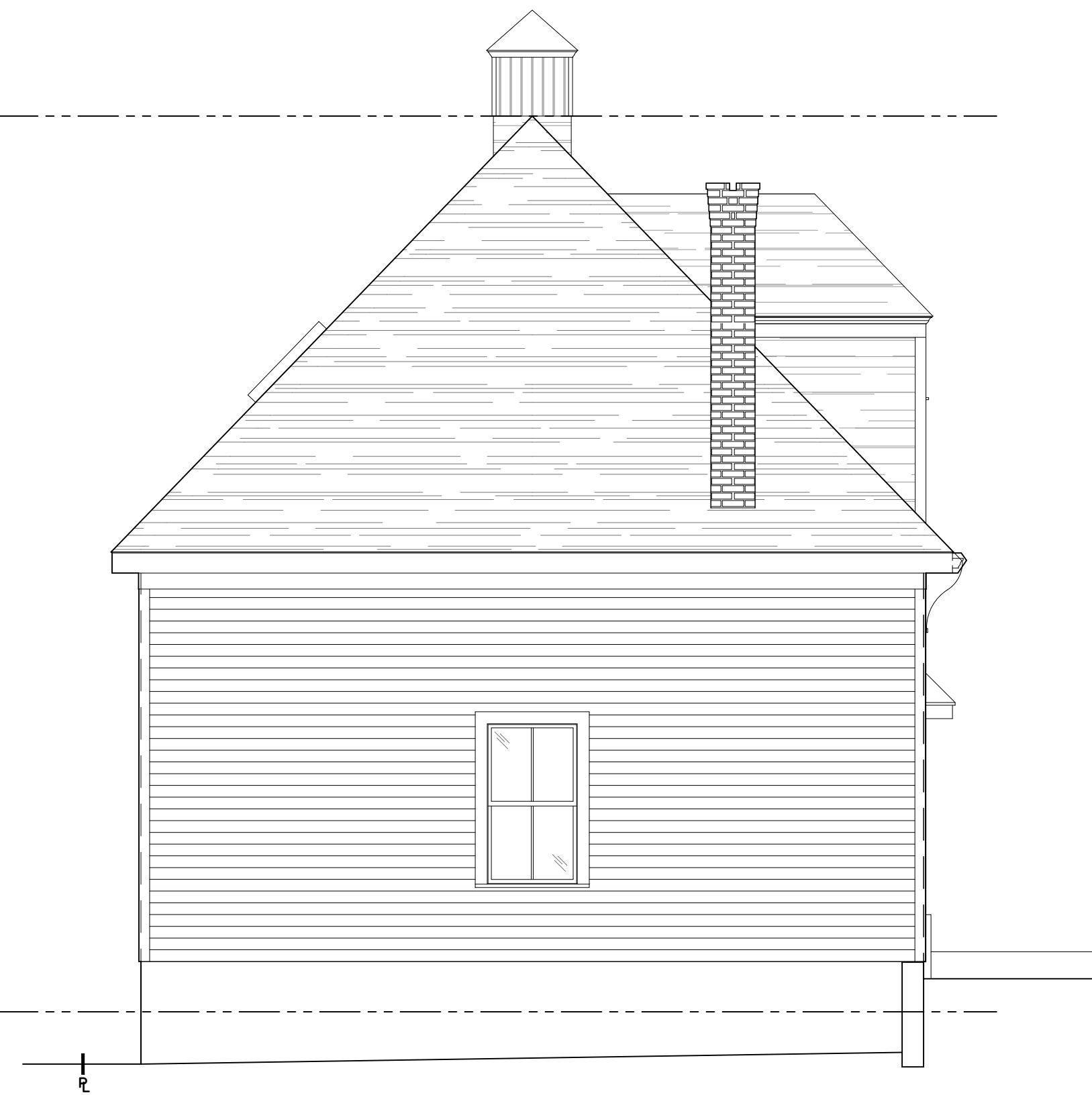




1
EX-203

BACKYARD COTTAGE
EXISTING REAR (SOUTH) ELEVATION

1/4" = 1'-0"



2
EX-203

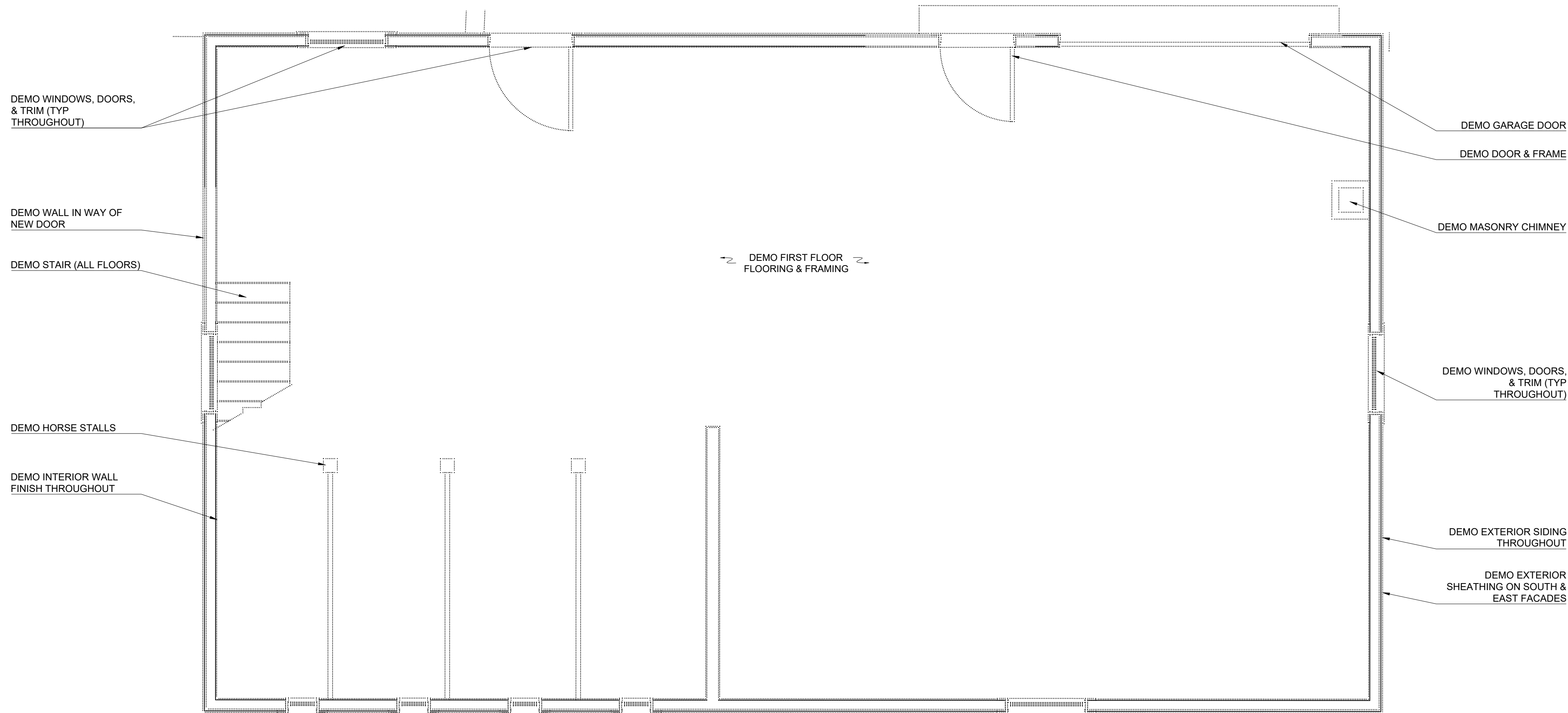
BACKYARD COTTAGE
EXISTING SIDE (EAST) ELEVATION

1/4" = 1'-0"





1
AD-111
BYC BASEMENT DEMO PLAN
3/8" = 1'-0"



2
AD-111
BYC 1ST FLOOR DEMO PLAN
3/8" = 1'-0"

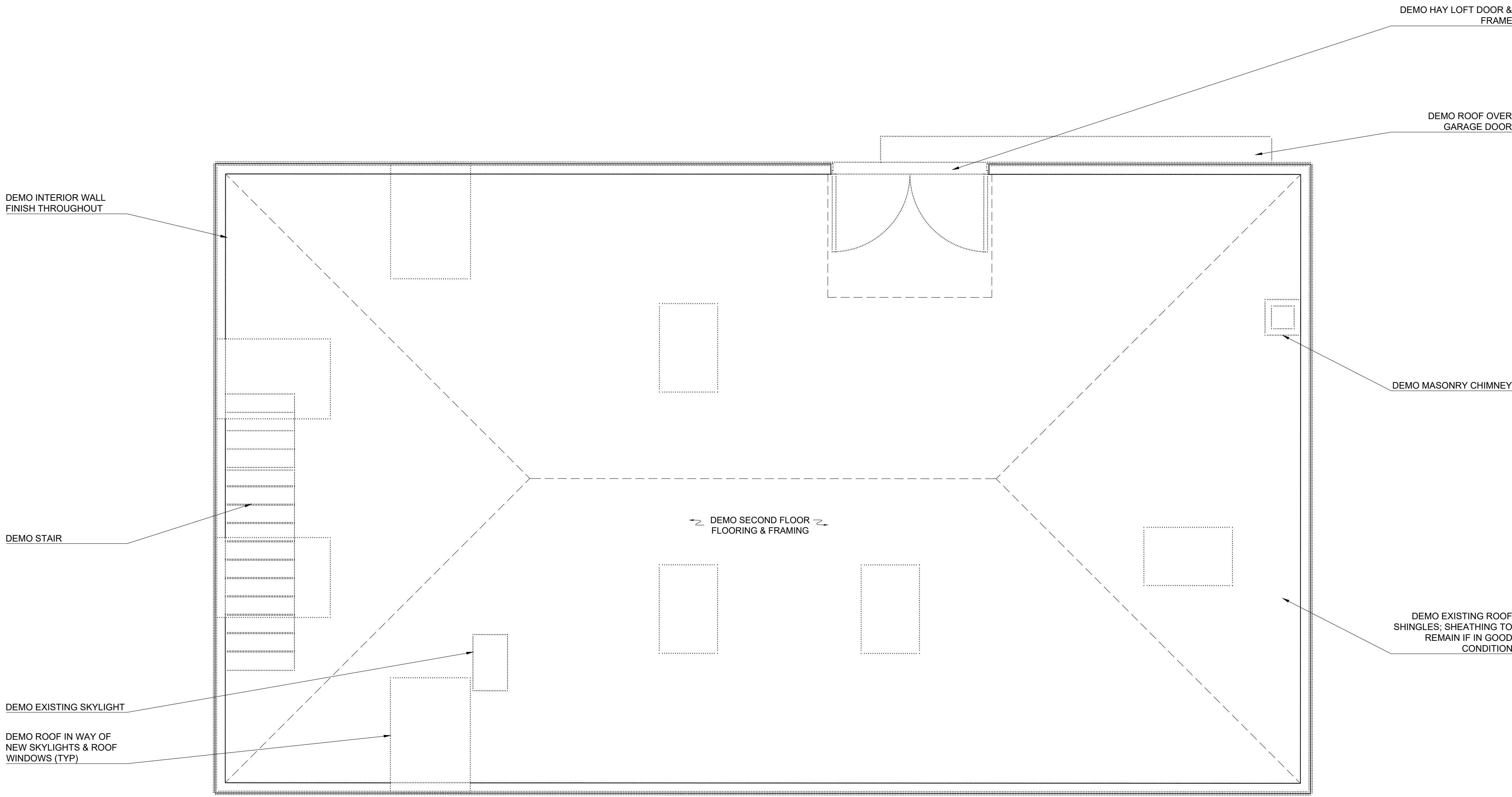
PROPOSED FLOOR PLANS
PROPOSED RESIDENTIAL RENOVATION
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SOMERVILLE, MA 02144



PROJECT NUMBER: 202037
DRAWING NUMBER:

AD-111

SCALE: 3/8"=1'-0"
DATE: 09.16.2022



1
AD-112

BYC 2ND FLOOR DEMO PLAN

3/8" = 1'-0"

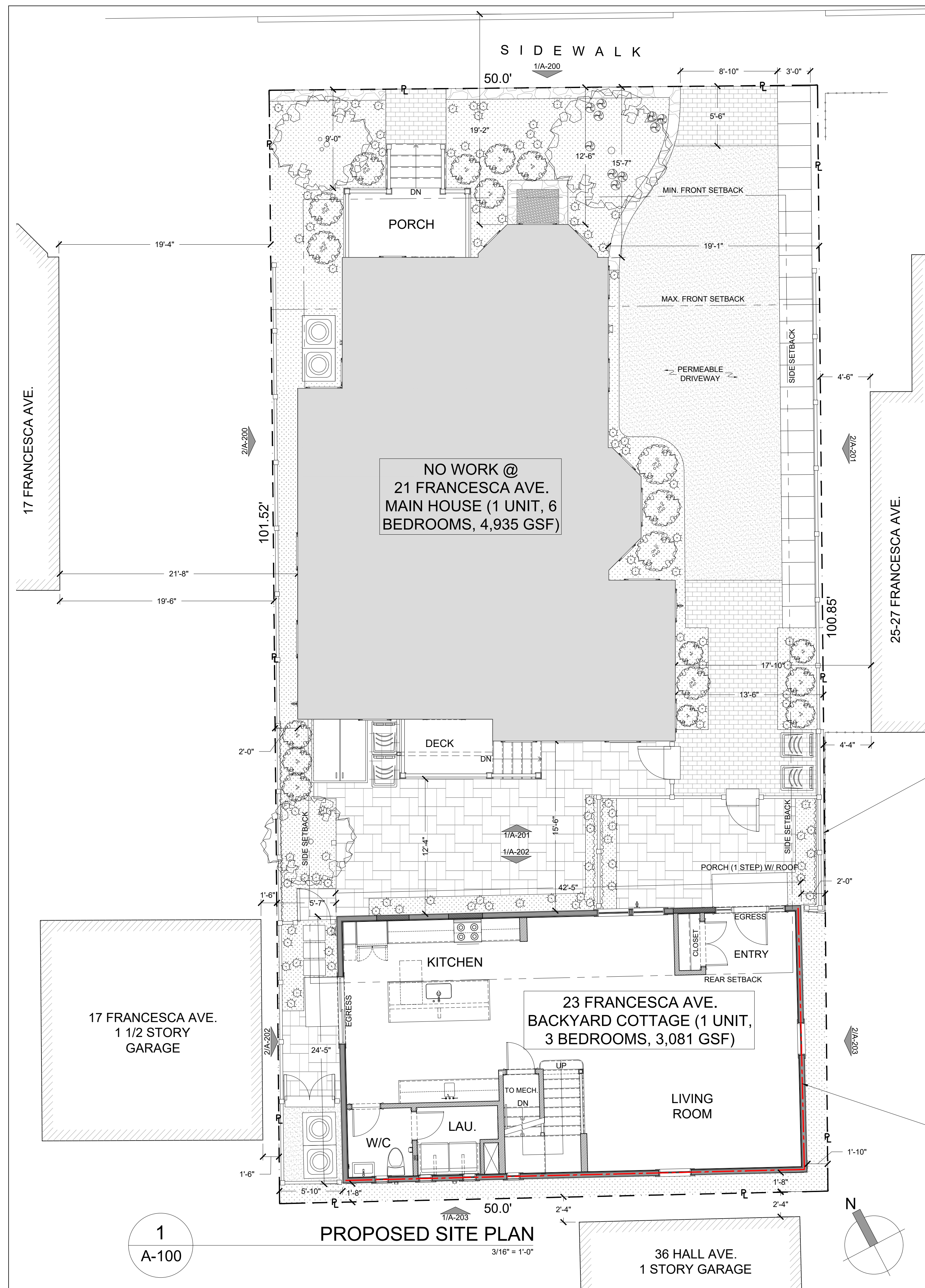
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PROPOSED RESIDENTIAL RENOVATION
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PROJECT NUMBER: 202037
DRAWING NUMBER:

AD-112

SCALE: 3/8"=1'-0"
DATE: 09.16.2022



PRESERVE EXISTING
RETAINING WALL AS
PRACTICAL; CONFIRM
REQUIRED REPAIRS &
SCOPE OF WORK W/
OWNER & ARCHITECT

BACKYARD COTTAGE EXTERIOR SCOPE OF WORK

REMOVE ALL SIDING, TRIM & ROOFING DOWN TO SHEATHING PROPERLY ABATE ALL EXISTING PAINTS TO MEET ALL APPLICABLE REGULATIONS

EXISTING WINDOWS & DOORS TO BE REMOVED

INSTALL NEW WINDOWS, ROOF, ROOF WINDOWS, SKYLIGHTS, & DOORS TO BE PROTECTED PROPERLY

WATERPROOFING, ALL NEW EXTERIOR FINISHES, ETC. AS NOTED ON PROPOSED PLANS & SPECIFICATIONS

NORTH & WEST FACADE

PROVIDE NEW CLAPBOARD SIDING

PROVIDE SINGLE DETAILING

CONFIRM SIDING DETAIL W/ OWNER

PROVIDE NEW CLAPBOARD SIDING

USE NDS COMPLIANT 1/4" RATED INSULATION

PROVIDE NEW CLAPBOARD SIDING

PROVIDE NEW DETAILING

HOUSEWATER DETAIL W/ OWNER

FRONT FACADE

PROVIDE NEW CLAPBOARD SIDING

REMOVE SUEDE W/ SUCH AS BANNER OBEYKE

REMOVE ALL EXISTING PAINTS TO MEET ALL APPLICABLE REGULATIONS

PROVIDE SPRAY FOAM AS WALL & CEILING

REMOVE ALL EXISTING PAINTS TO MEET ALL APPLICABLE REGULATIONS

CAVITIES ACRYL W/ CURRENT ENERGY EFFICIENT INSULATION

REMOVE ALL EXISTING PAINTS TO MEET ALL APPLICABLE REGULATIONS

TO INTERIOR SIDE OF EXTERIOR WALLS TO INCREASE FRAMING CAVEY DEPTH

PROVIDE NEW ASPHALT SHINGLE ROOF W/ SYNTHETIC UNDERLAYMENT, ICE & WATER

REMOVE ALL EXISTING PAINTS TO MEET ALL APPLICABLE REGULATIONS

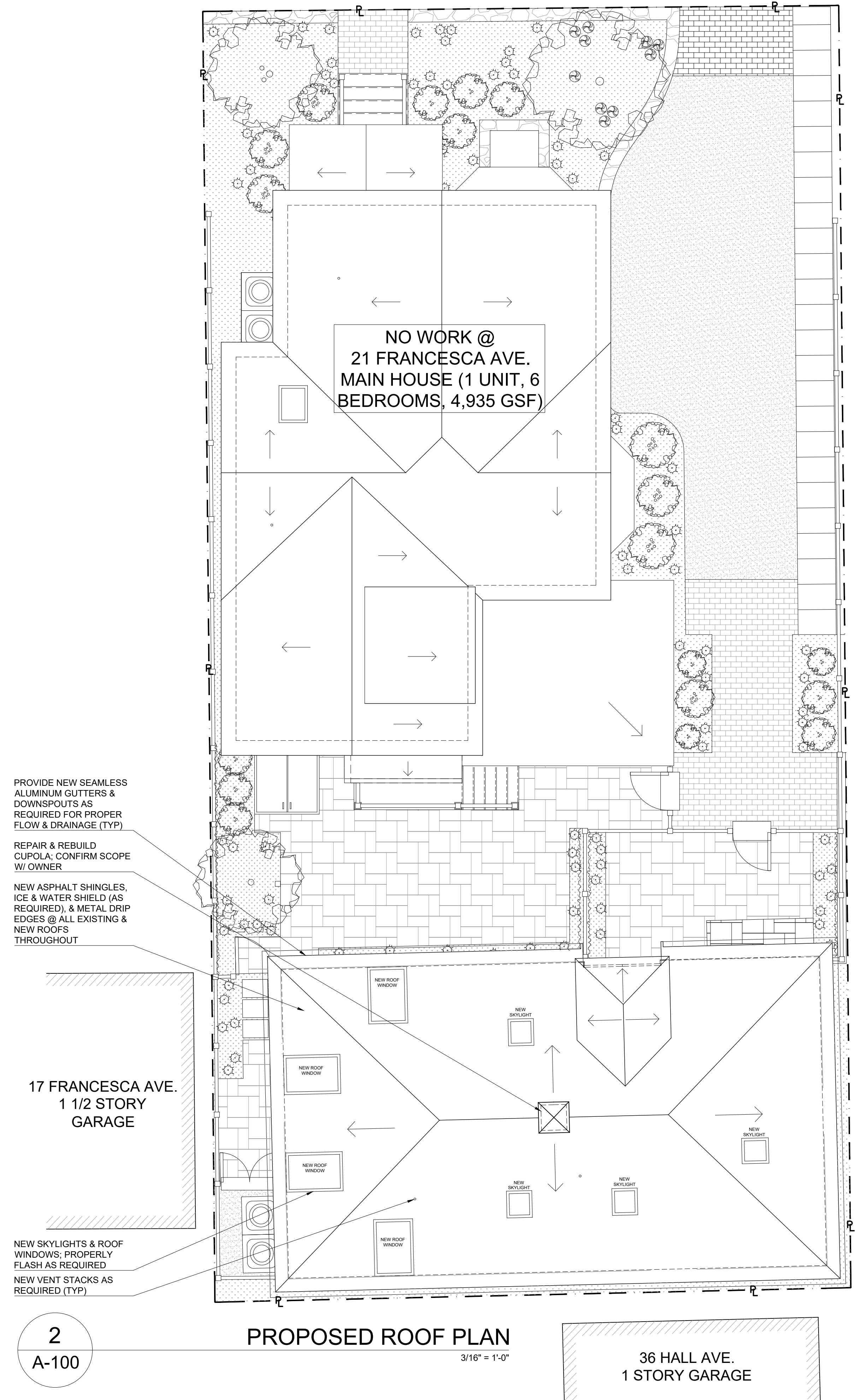
ALL OTHER COMPONENTS AS REQUIRED BY PERMITS

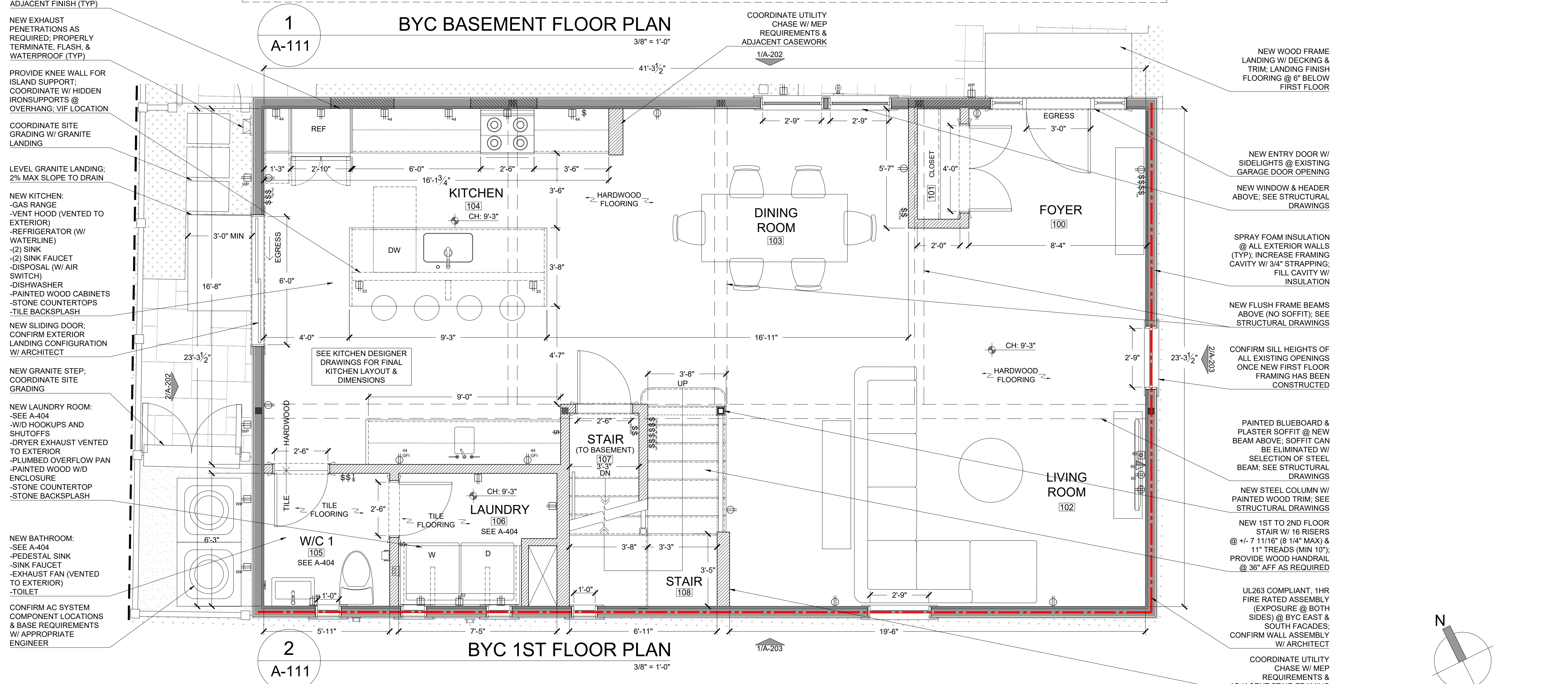
MANUFACTURERS WARRANTY

WARRANTY FOR ALL MANUFACTURERS & DOWNSPOUTS, DOWNSPOUT LOCATIONS TO BE DETERMINED BY PERMITS


PURPOSE ONLY: ENGINEER/COORDINATE ALL PERMITS

PERMITS W/ ROOF



[illegible]

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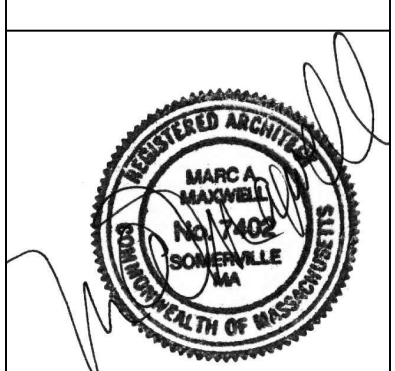


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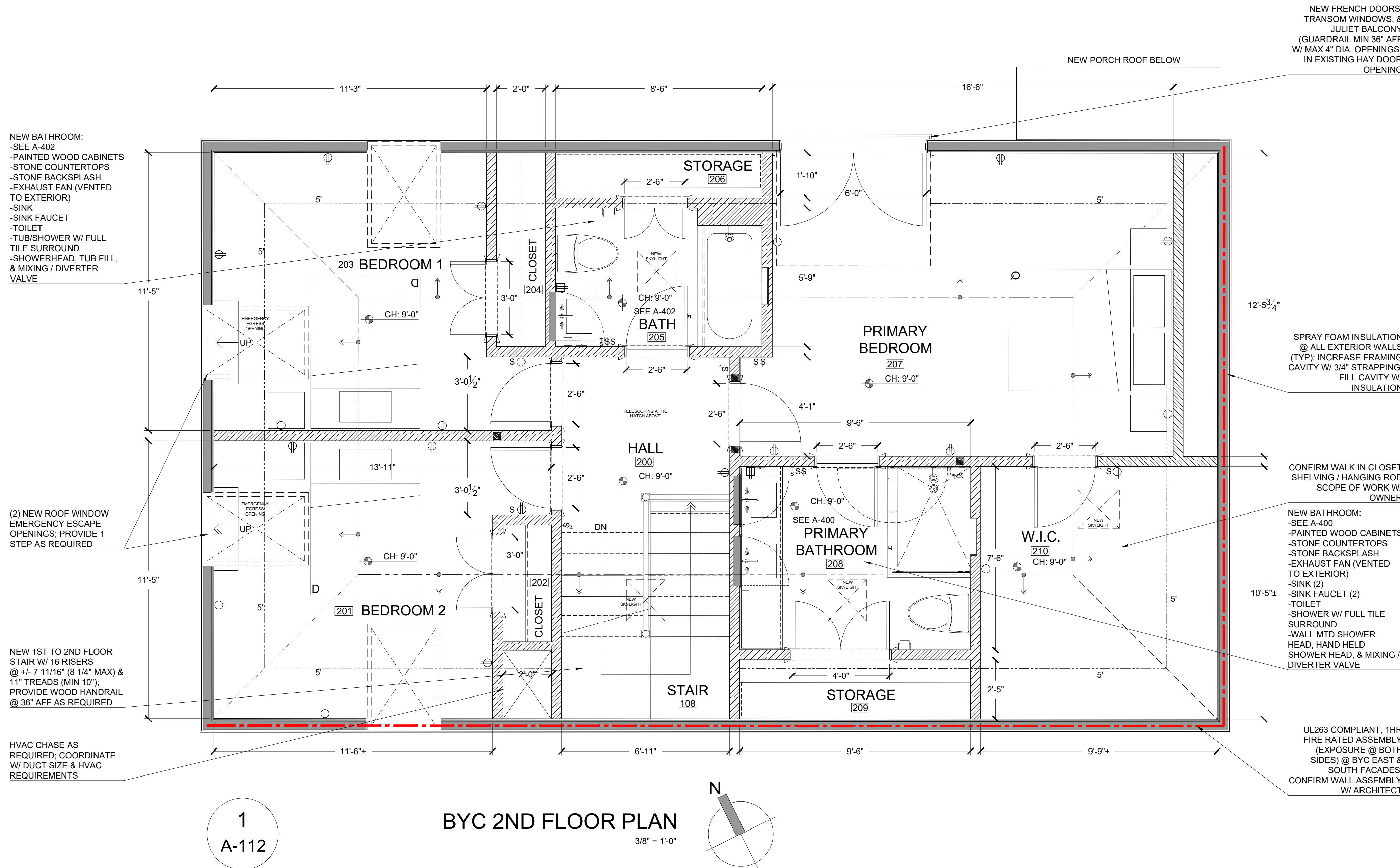
PROPOSED FLOOR PLANS
PROPOSED RESIDENTIAL RENOVATION
ZEPEDA & JONG RESIDENCE
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PROJECT NUMBER: 202037
DRAWING NUMBER:

A-111

SCALE: 3/8"=1'-0"
DATE: 09.16.2022



BACKWARD COTTAGE EXTERIOR SCOPE OF WORK:
-REMOVE ALL SIDING, TRIM & ROOFING DOWN TO SHEATHING (PROPERLY ABATE & DISPOSE OF HAZARDOUS MATERIALS) EXISTING WINDOWS & DOORS TO BE REMOVED
-PROVIDE NEW WINDOWS, ROOF TRIM, TRIM, & DOORS TO BE INSTALLED, PROPERLY FLASHED, & INTERLOCKED. (ALL NEW LOCATIONS, & EXISTING OPENINGS AS INDICATED ON PROPOSED PLANS & ELEVATIONS)
-SOUTH & WEST FACADE:
-PROVIDE NEW CLAPBOARD SIDING IN SHINGLE DETAILING, CONFIRM Siding DETAIL W/ OWNER
-CONFIRM Siding DETAIL W/ OWNER SOUTH & EAST FACADE:
-PROVIDE NEW CLAPBOARD SIDING IN SHINGLE DETAILING, CONFIRM Siding DETAIL W/ OWNER
-PROVIDE 1/2" RIGID POLYURETHANE HOUSEWRAP SUCH AS BENJAMIN OBVIOUS HYDROWRAP @ ALL EXTERIOR WALLS
-PROVIDE SPRAY FOAM @ ALL WALL & ROOF JOINTS, FULL FRAMING CAVITIES & CAVITY W/ CURRENT ENERGY CODE TO INCREASE CAVITY DEPTH TO INCREASE FRAMING CAVITY DEPTH
-PROVIDE NEW AIRTIGHT SINGLE ROOF TO INCREASE FRAMING CAVITY DEPTH
-PROVIDE NEW AIRTIGHT SINGLE ROOF TO INCREASE FRAMING CAVITY DEPTH
-PROVIDE NEW CONTINUOUS OUTTERS & COMPOUNDS, CORNER JOINT LOCATIONS
-PROVIDE NEW CONTINUOUS OUTTERS & COMPOUNDS, CORNER JOINT LOCATIONS
-PROVIDE NEW CONTINUOUS OUTTERS & COMPOUNDS, CORNER JOINT LOCATIONS
-PROVIDE NEW CONTINUOUS OUTTERS & COMPOUNDS, CORNER JOINT LOCATIONS

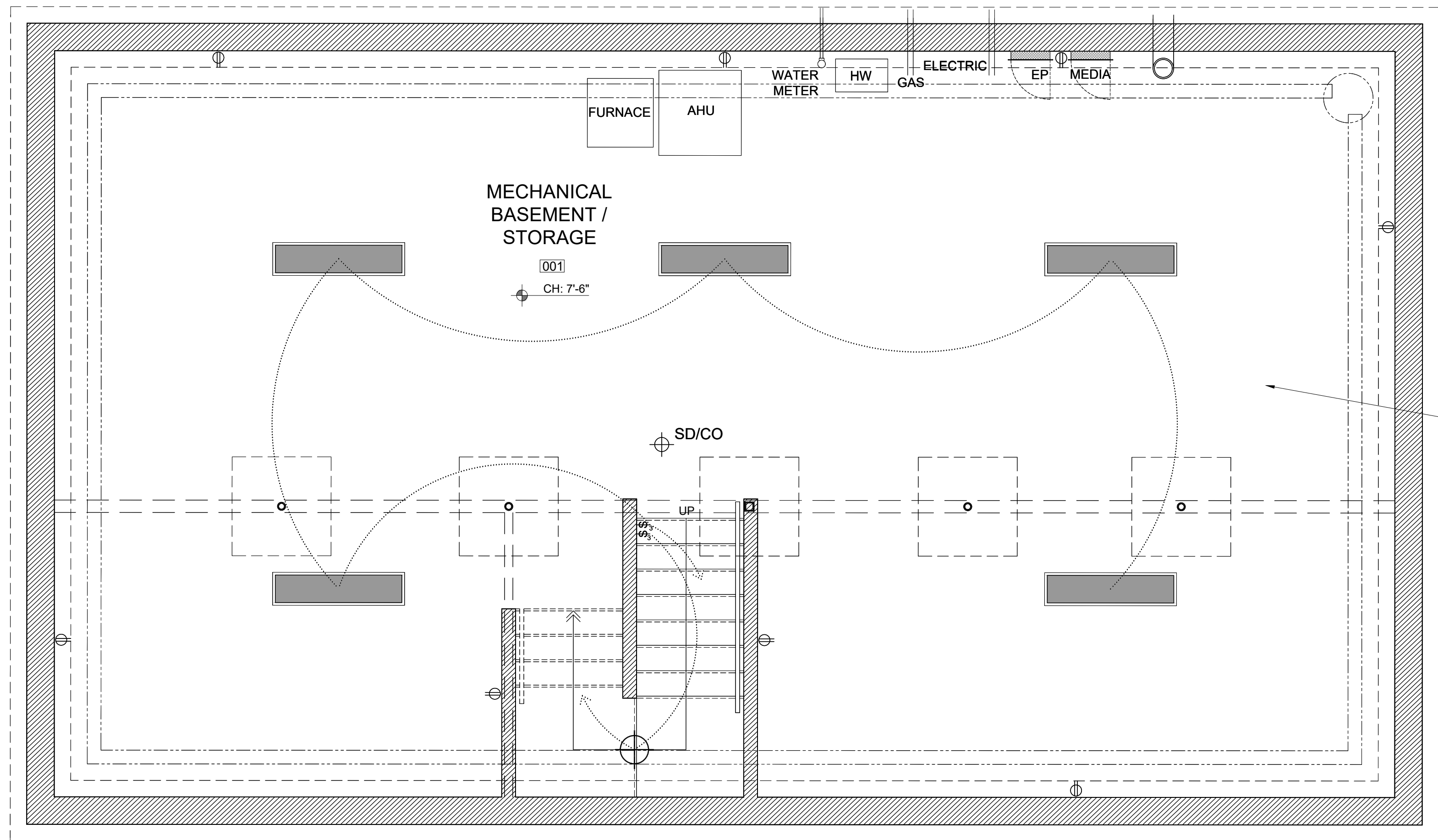
EMERGENCY ESCAPE OPENINGS
IF DOUBLE OR SINGLE HUNG:
-3.3 SQ. MIN. OPENING AREA
-24" x 20" MIN. OPENING DIMENSIONS CAN BE IN EITHER DIRECTION
-4" MAX. SILL HEIGHT
ANY OTHER APPROVED WINDOW TYPE:
-5.7 SQ. FT. IF 8" BELOW GRADE (MIN. OPENING AREA)
-24" MIN. OPENING HEIGHT
-20" MIN. OPENING WIDTH
-4" MAX. SILL HEIGHT
SEE REC. 2018 SECTION R010 & MA AMENDMENTS FOR REQUIREMENTS
EMERGENCY ESCAPE WINDOW WELLS
-36" MIN. WIDTH & PROJECTION
-9" MIN. FOOTPRINT
-LADDERSTEP NOT REQUIRED IF WELL HEIGHT IS LESS THAN 4'
-THE WELLS FOUNDATION DRAINAGE SYSTEM OR APPROVED ALTERNATE 36" MIN. HEAD HEIGHT ABOVE WELL
SEE REC. 2018 SECTION R010 & MA AMENDMENTS FOR REQUIREMENTS

PROPOSED FLOOR PLANS
PROPOSED RESIDENTIAL RENOVATION
ZEPEDA & JONG RESIDENCE
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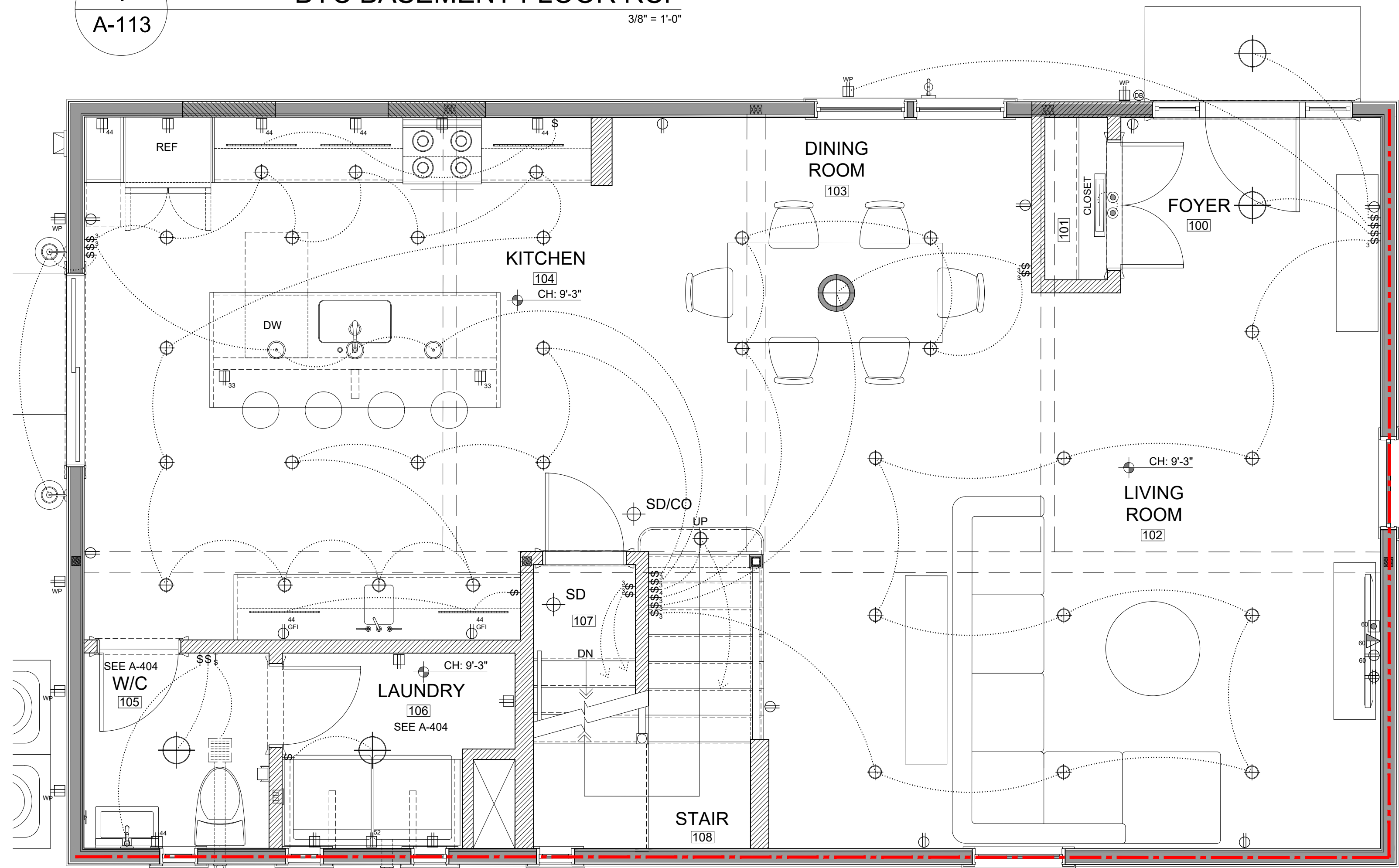
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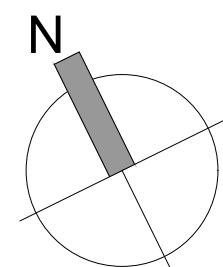
PROJECT NUMBER: 202037
DRAWING NUMBER:
A-112
SCALE: 3/8"=1'-0"
DATE: 09.16.2022



1
BYC BASEMENT FLOOR RCP
3/8" = 1'-0"

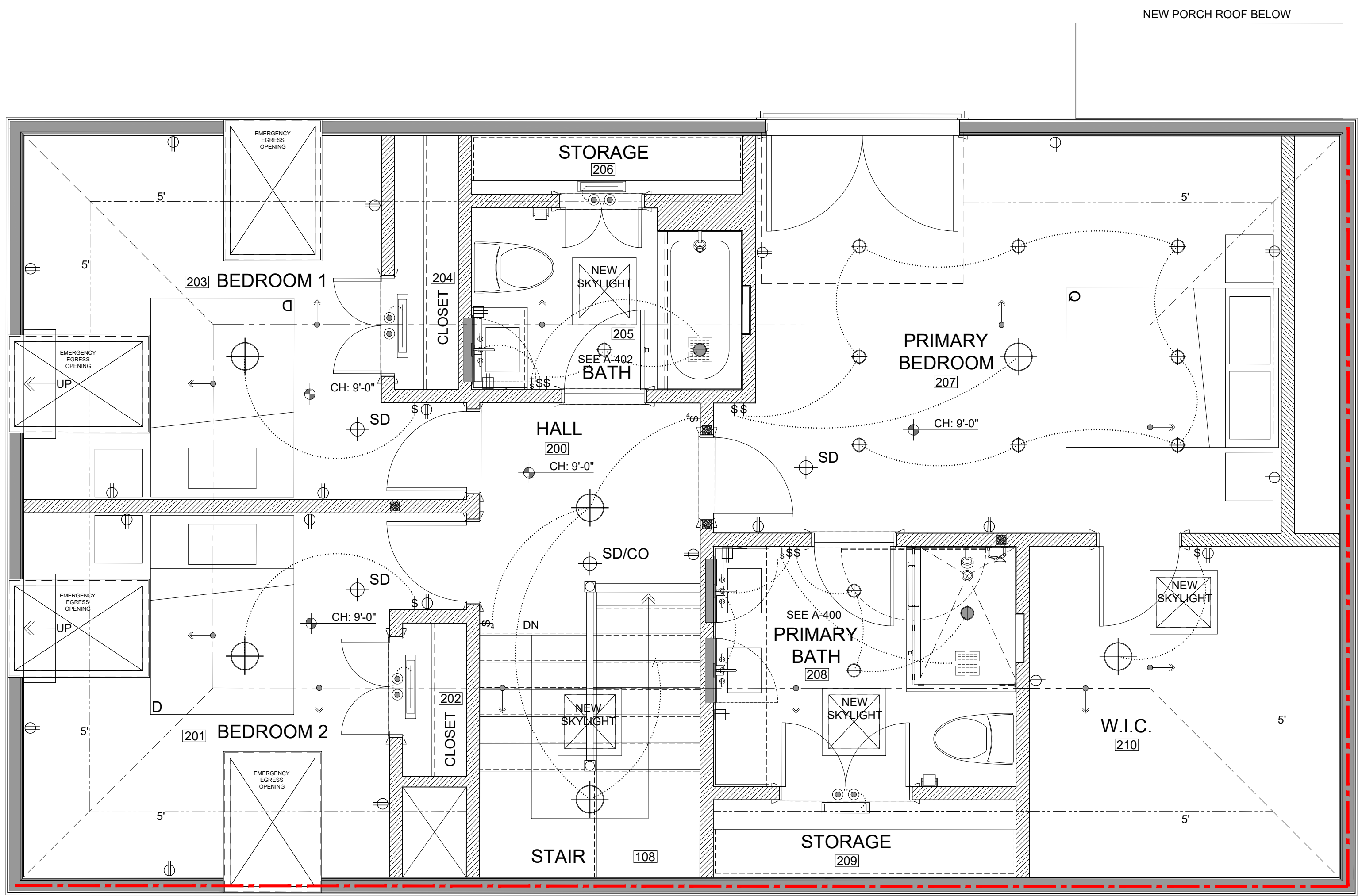


2
BYC 1ST FLOOR RCP
3/8" = 1'-0"



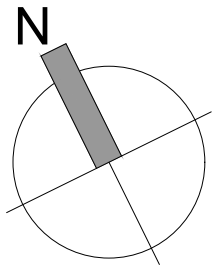
**PROPOSED REFLECTED CEILING PLANS
PROPOSED RESIDENTIAL RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144**





1
A-114

BYC 2ND FLOOR RCP
3/8" = 1'-0"



EMERGENCY EGRESS OPENINGS
IF DOUBLE OR DOUBLE HUNG
- 3.3 SF MIN. OPENING AREA
- 20" MIN. OPENING DIMENSIONS
CAN BE IN EITHER DIRECTION
- 44" MAX. SILL HEIGHT
ANY OTHER APPROVED WINDOW TYPE
- 5.7 SF MIN. IF BELOW GRADE MIN.
OPENING AREA
- 20" MIN. OPENING HEIGHT
- 20" MIN. OPENING WIDTH
- 44" MAX. SILL HEIGHT
SEE IRC 2010 SECTION R310 & MA
AMENDMENTS FOR REQUIREMENTS
EMERGENCY EGRESS WINDOW WELLS
- 30" MIN. WIDTH & PROTECTION
- 8" MIN. FOOTPRINT
- LADDERS/STAIRS NOT REQUIRED IF WELL
HEIGHT IS LESS THAN 44"
- TIE INTO FOUNDATION DRAINAGE
SYSTEM OR APPROVED ALTERNATE
- 30" MIN. HEAD HEIGHT ABOVE WELL
SEE IRC 2010 SECTION R310 & MA
AMENDMENTS FOR REQUIREMENTS

PROPOSED REFLECTED CEILING PLANS
PROPOSED RESIDENTIAL RENOVATION
ZEPEDA & JONG RESIDENCE
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PROJECT NUMBER: 202037
DRAWING NUMBER:

A-114

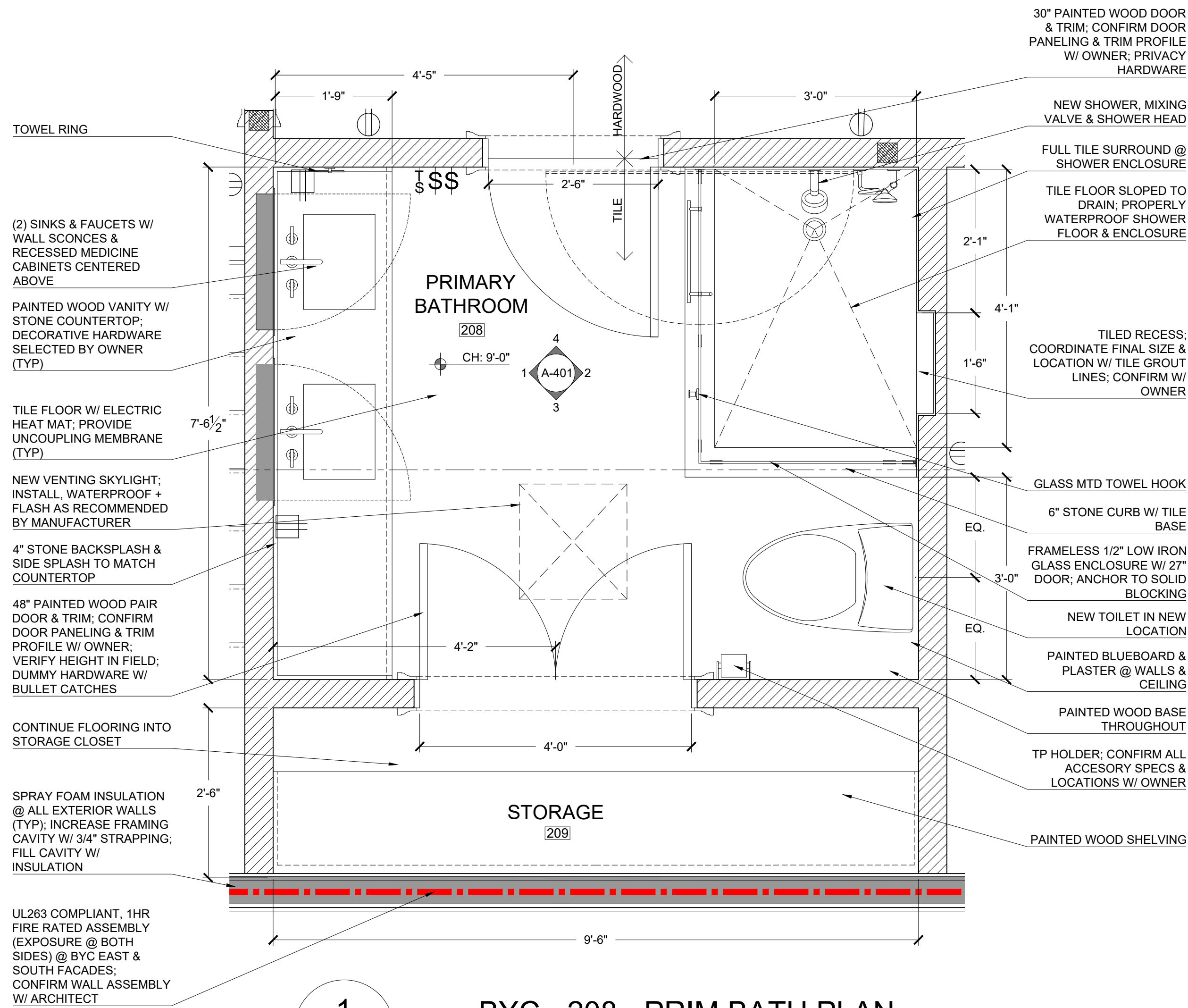
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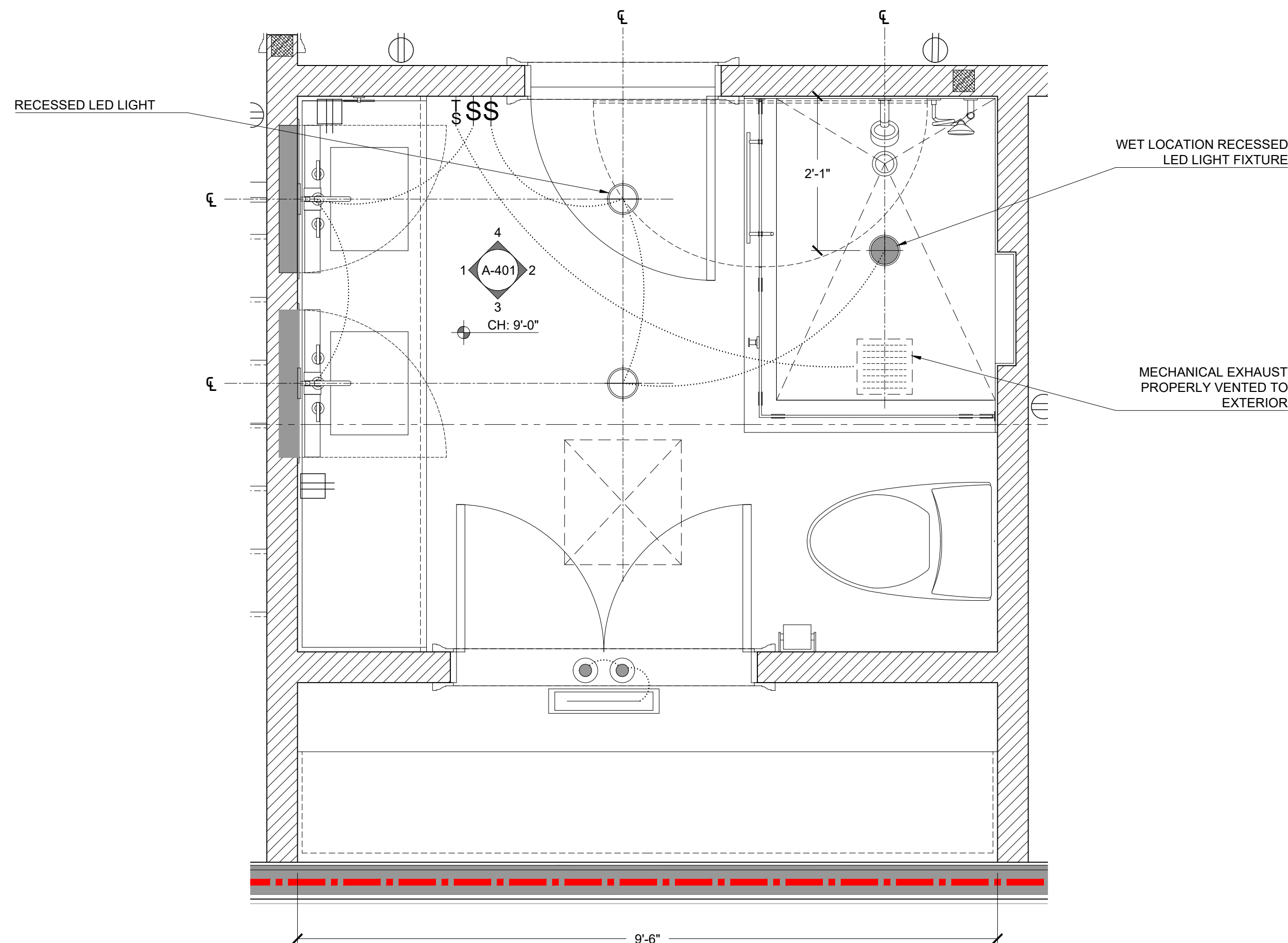
SCALE: 1/4"=1'-0"
DATE: 09.16.2022

SCALE: 1/4"=1'-0"
DATE: 09.16.2022

- NOTE:
- PROVIDE UNCOUPLING MEMBRANE @ ALL TILE FLOORING
 - PROVIDE BLOCKING FOR ALL ACCESSORIES & COMPONENTS AS REQUIRED
 - CONFIRM ALL FIXTURES, FINISHES, FITTINGS & ACCESSORIES W/ OWNER
 - COORDINATE FIXTURE & ACCESSORY LOCATIONS W/ OWNER SPECIFIED COMPONENTS



1
A-400
BYC - 208 - PRIM BATH PLAN
3/4" = 1'-0"



1
A-400
BYC - 208 - PRIM BATH RCP
3/4" = 1'-0"



- NOTE:
- PROVIDE UNCOUPLING MEMBRANE @ ALL TILE FLOORING
 - PROVIDE BLOCKING FOR ALL ACCESSORIES & COMPONENTS AS REQUIRED
 - CONFIRM ALL FIXTURES, FINISHES, FITTINGS & ACCESSORIES W/ OWNER
 - COORDINATE FIXTURE & ACCESSORY LOCATIONS W/ OWNER SPECIFIED COMPONENTS

OPEN CELL SPRAY FOAM
@ THERMAL ENVELOPE
(TYP)

48" PAINTED WOOD PAIR
DOOR & TRIM; CONFIRM
DOOR PANELING & TRIM
PROFILE W/ OWNER;
VERIFY HEIGHT IN FIELD;
DUMMY HARDWARE W/
BULLET CATCHES

FILLER STRIPS TO MATCH
CASEWORK AS REQUIRED

PAINTED WOOD SHELVING
1" x 3" PAINTED WOOD
SUPPORT CLEAT

SPRAY FOAM INSULATION
@ ALL EXTERIOR WALLS
(TYP); INCREASE FRAMING
CAVITY W/ 3/4" STRAPPING;
FILL CAVITY W/
INSULATION

UL263 COMPLIANT, 1HR
FIRE RATED ASSEMBLY
(EXPOSURE @ BOTH
SIDES) @ BYC EAST &
SOUTH FACADES;
CONFIRM WALL ASSEMBLY
W/ ARCHITECT

1
A-401

BYC - PRIMARY BATH - 208 - ELEV

3/4" = 1'-0"

TILE HARDWOOD

BRACE WALL TO
STRUCTURE ABOVE AS
REQUIRED

NEW VENTING SKYLIGHT;
INSTALL, WATERPROOF +
FLASH AS RECOMMENDED
BY MANUFACTURER

PAINTED BLUEBOARD &
PLASTER @ WALLS &
CEILING

(2) WALL MOUNTED
SCONCES CENTERED
OVER SINK

(2) FIXED MIRRORS
CENTERED OVER SINK

4" STONE BACK & SIDE
SPLASH TO MATCH
COUNTERTOP

(2) SINK & FAUCET
PAINTED WOOD
CASEWORK W/ STONE
COUNTERTOP;
DECORATIVE HARDWARE
SELECTED BY OWNER
(TYP)

OPEN CELL SPRAY FOAM
@ THERMAL ENVELOPE
(TYP)

FULL TILE SURROUND @
SHOWER ENCLOSURE

FRAMELESS 1/2" LOW IRON
GLASS ENCLOSURE W/ 27"
DOOR; ANCHOR TO SOLID
BLOCKING

SHOWER HEAD

GLASS MTD TOWEL HOOK

HANDHELD SHOWER HEAD

TILED RECESS

MIXING VALVE

9'-0"

6'-8"

6'-7"

3'-6"

6"

2'-3"

HARDWOOD TILE

2
A-401

BYC - PRIMARY BATH - 208 - ELEV

3/4" = 1'-0"

NEW VENTING SKYLIGHT;
INSTALL, WATERPROOF +
FLASH AS RECOMMENDED
BY MANUFACTURER

WET LOCATION RECESSED
LED LIGHT FIXTURE

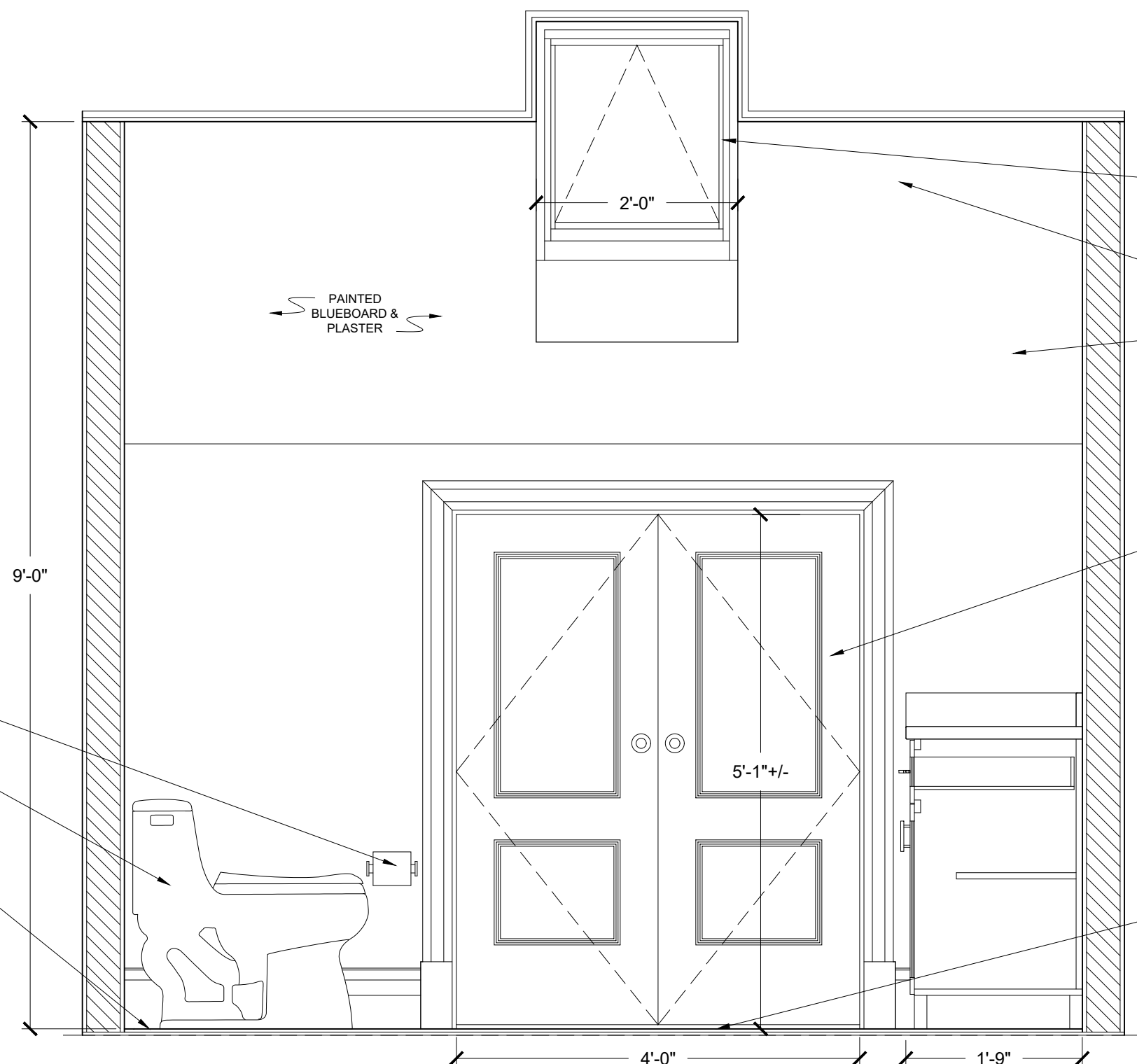
PAINTED BLUEBOARD &
PLASTER @ WALLS &
CEILING

48" PAINTED WOOD PAIR
DOOR & TRIM; CONFIRM
DOOR PANELING & TRIM
PROFILE W/ OWNER;
VERIFY HEIGHT IN FIELD;
DUMMY HARDWARE W/
BULLET CATCHES

PAINTED WOOD SHELVING

SPRAY FOAM INSULATION
@ ALL EXTERIOR WALLS
(TYP); INCREASE FRAMING
CAVITY W/ 3/4" STRAPPING;
FILL CAVITY W/
INSULATION

UL263 COMPLIANT, 1HR
FIRE RATED ASSEMBLY
(EXPOSURE @ BOTH
SIDES) @ BYC EAST &
SOUTH FACADES;
CONFIRM WALL ASSEMBLY
W/ ARCHITECT



3
A-401

BYC - PRIMARY BATH - 208 - ELEV

3/4" = 1'-0"

NEW VENTING SKYLIGHT;
INSTALL, WATERPROOF +
FLASH AS RECOMMENDED
BY MANUFACTURER

PAINTED BLUEBOARD &
PLASTER @ WALLS &
CEILING

48" PAINTED WOOD PAIR
DOOR & TRIM; CONFIRM
DOOR PANELING & TRIM
PROFILE W/ OWNER;
VERIFY HEIGHT IN FIELD;
DUMMY HARDWARE W/
BULLET CATCHES

TILE FLOOR W/ ELECTRIC
HEAT MAT; PROVIDE
UNCOUPLING MEMBRANE
(TYP)

TP HOLDER

NEW TOILET IN NEW
LOCATION

TILE FLOOR; PROVIDE
UNCOUPLING MEMBRANE
(TYP)

RECESSED LED LIGHT

PAINTED BLUEBOARD &
PLASTER @ WALLS &
CEILING

30" PAINTED WOOD DOOR
& TRIM; CONFIRM DOOR
PANELING & TRIM PROFILE
W/ OWNER; PRIVACY
HARDWARE

RECESSED MEDICINE
CABINETS W/ MIRROR

TOWEL RING

7'-8"

4'-3"

3'-8"

3'-0"

1'-9"

2'-6"

6"

EQ.

EQ.

4
A-401

BYC - PRIMARY BATH - 208 - ELEV

3/4" = 1'-0"

MECHANICAL EXHAUST
PROPERLY VENTED TO
EXTERIOR

FULL TILE SURROUND @
SHOWER ENCLOSURE

SHOWER HEAD

HANDHELD SHOWER HEAD

TILED RECESS

9'-0"

6'-8"

6'-0"

3'-3"

CENTER DRAIN, VALVE &
SHOWER HEAD ON
SHOWER FLOOR

TILE FLOOR SLOPED TO
DRAIN; PROPERLY
WATERPROOF SHOWER
FLOOR & ENCLOSURE

PROPOSED BYC - 208 - PRIM BATH ELEVATIONS
PROPOSED RESIDENTIAL RENOVATION
ZEPEDA & JONG RESIDENCE
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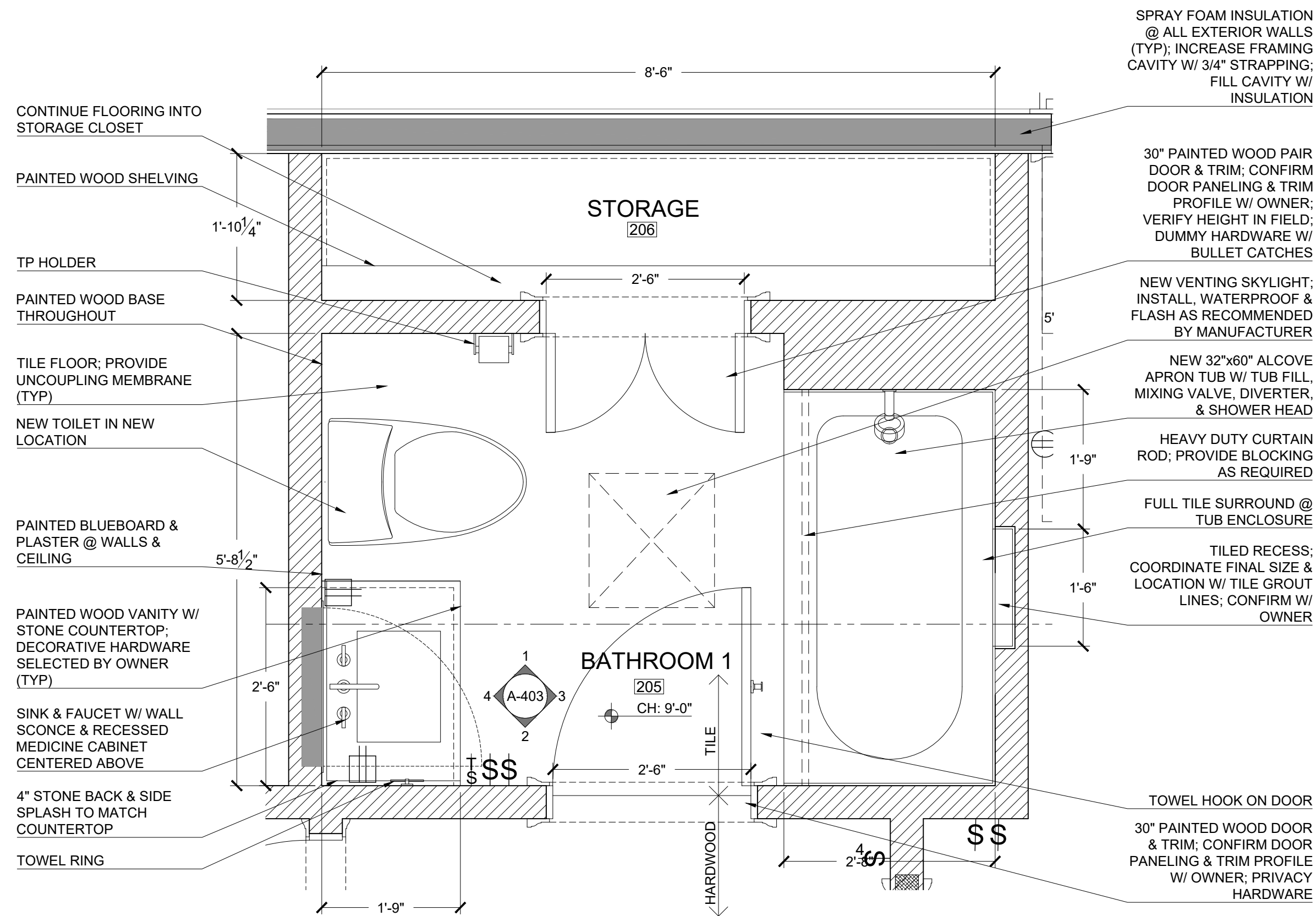
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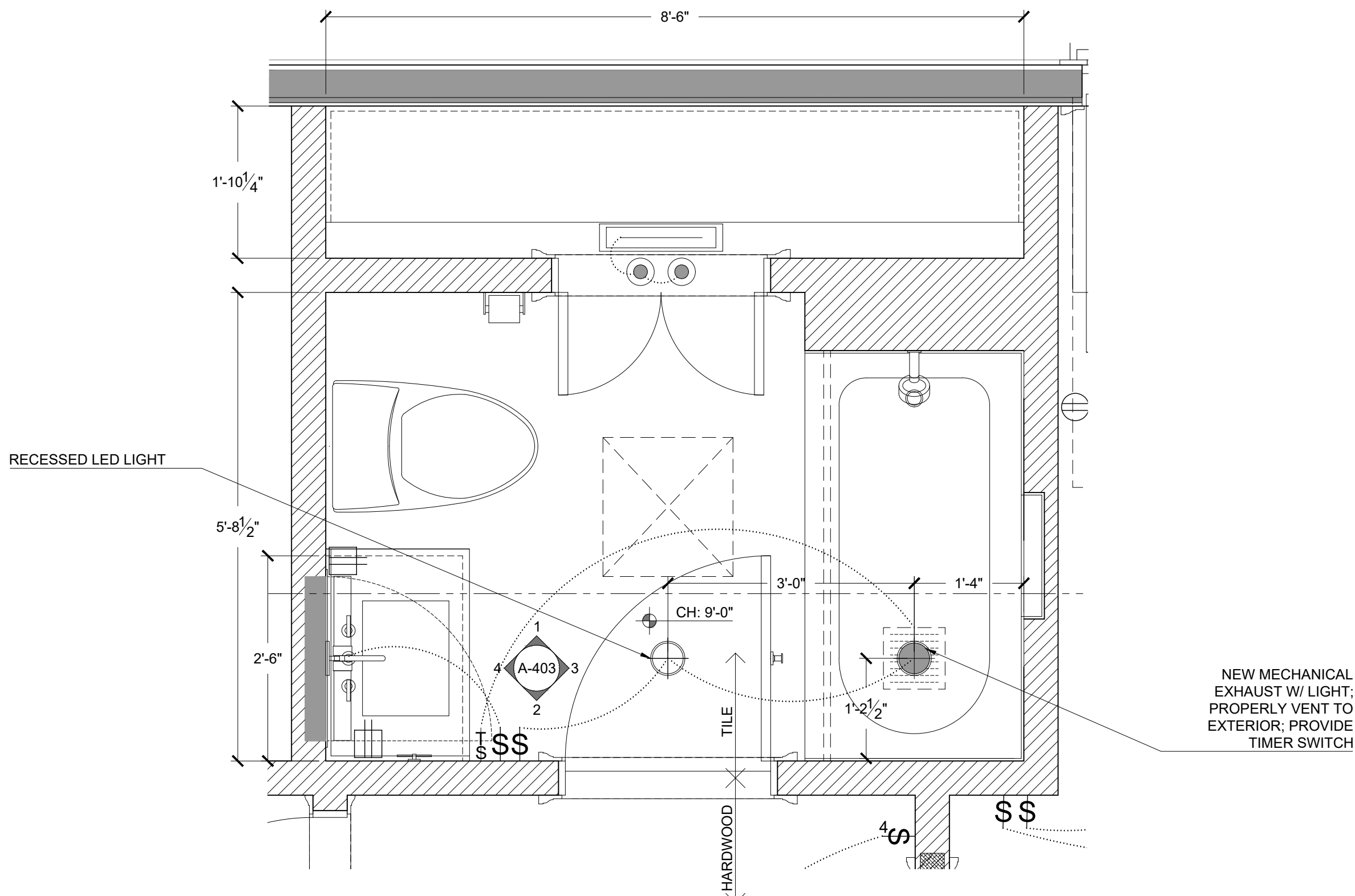
PROJECT NUMBER: 202037
DRAWING NUMBER:

A-401
SCALE: 3/4" = 1'-0"
DATE: 09.16.2022

- NOTE:
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 - PROVIDE BLOCKING FOR ALL ACCESSORIES & COMPONENTS AS REQUIRED
 - CONFIRM ALL FIXTURES, FINISHES, FITTINGS & ACCESSORIES W/ OWNER
 - COORDINATE FIXTURE & ACCESSORY LOCATIONS W/ OWNER SPECIFIED COMPONENTS



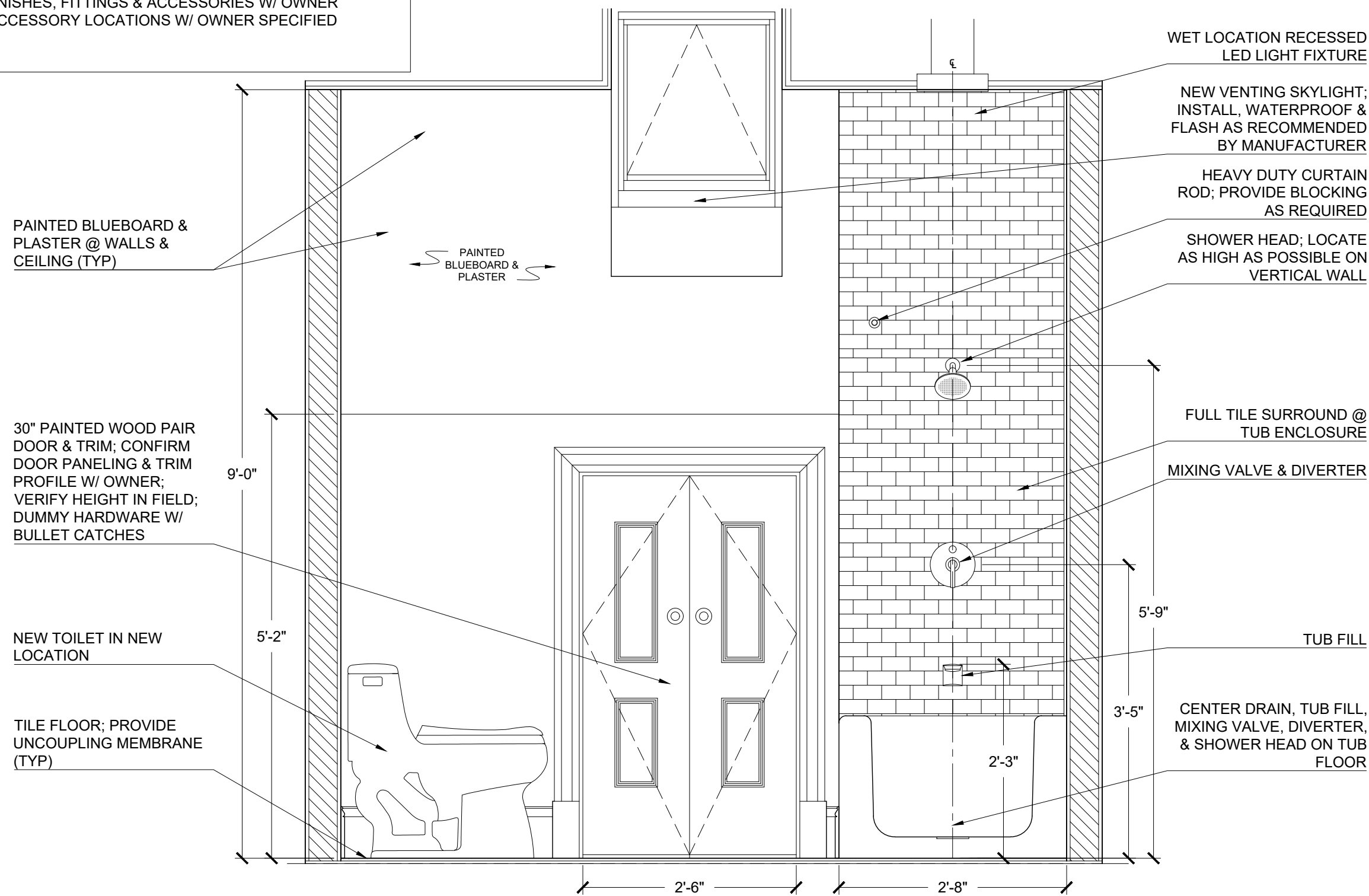
2
A-402
BYC - 205 - BATH 1 PLAN
3/4" = 1'-0"



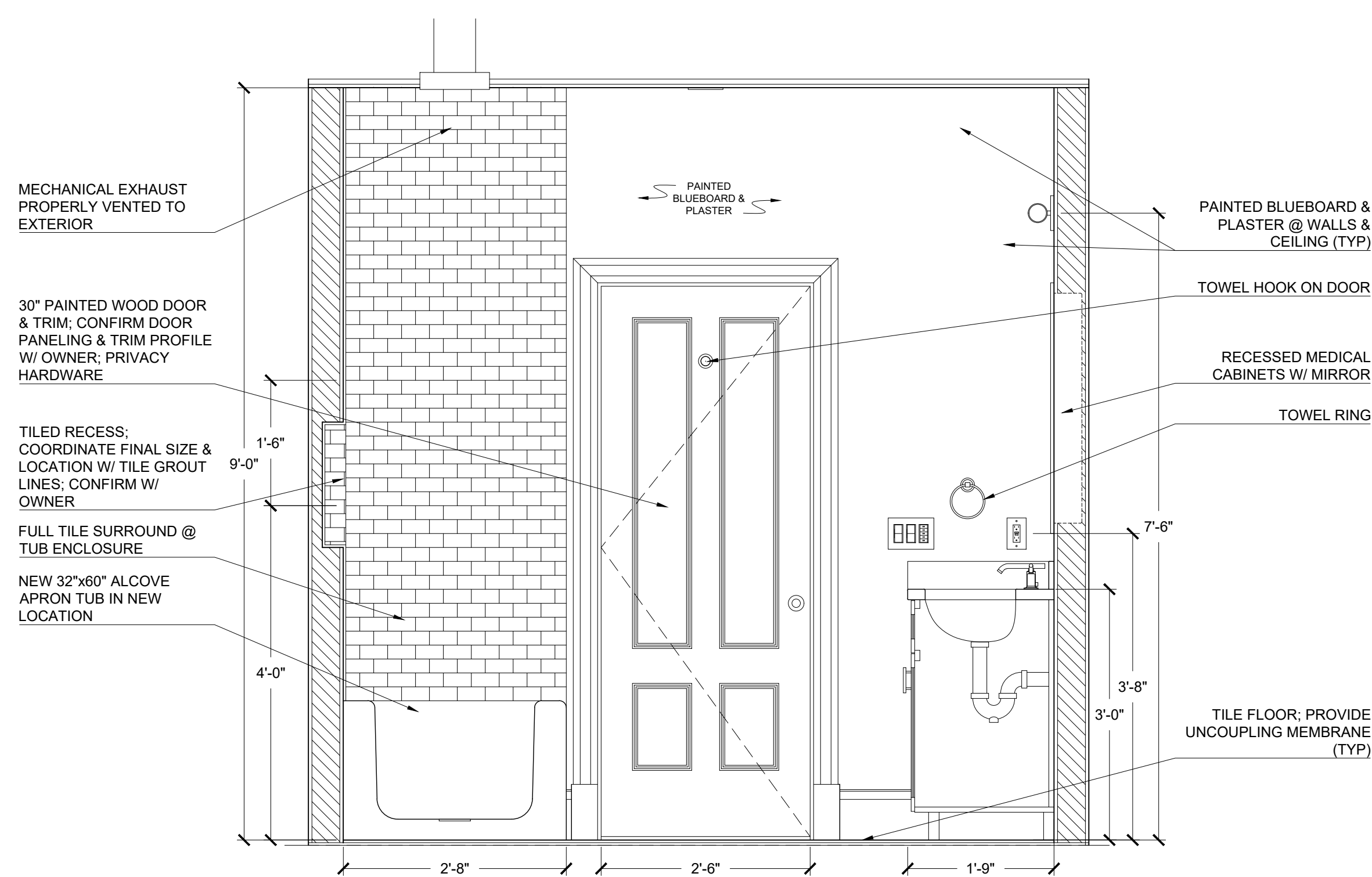
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A-402
BYC - 205 - BATH 1 RCP
3/4" = 1'-0"



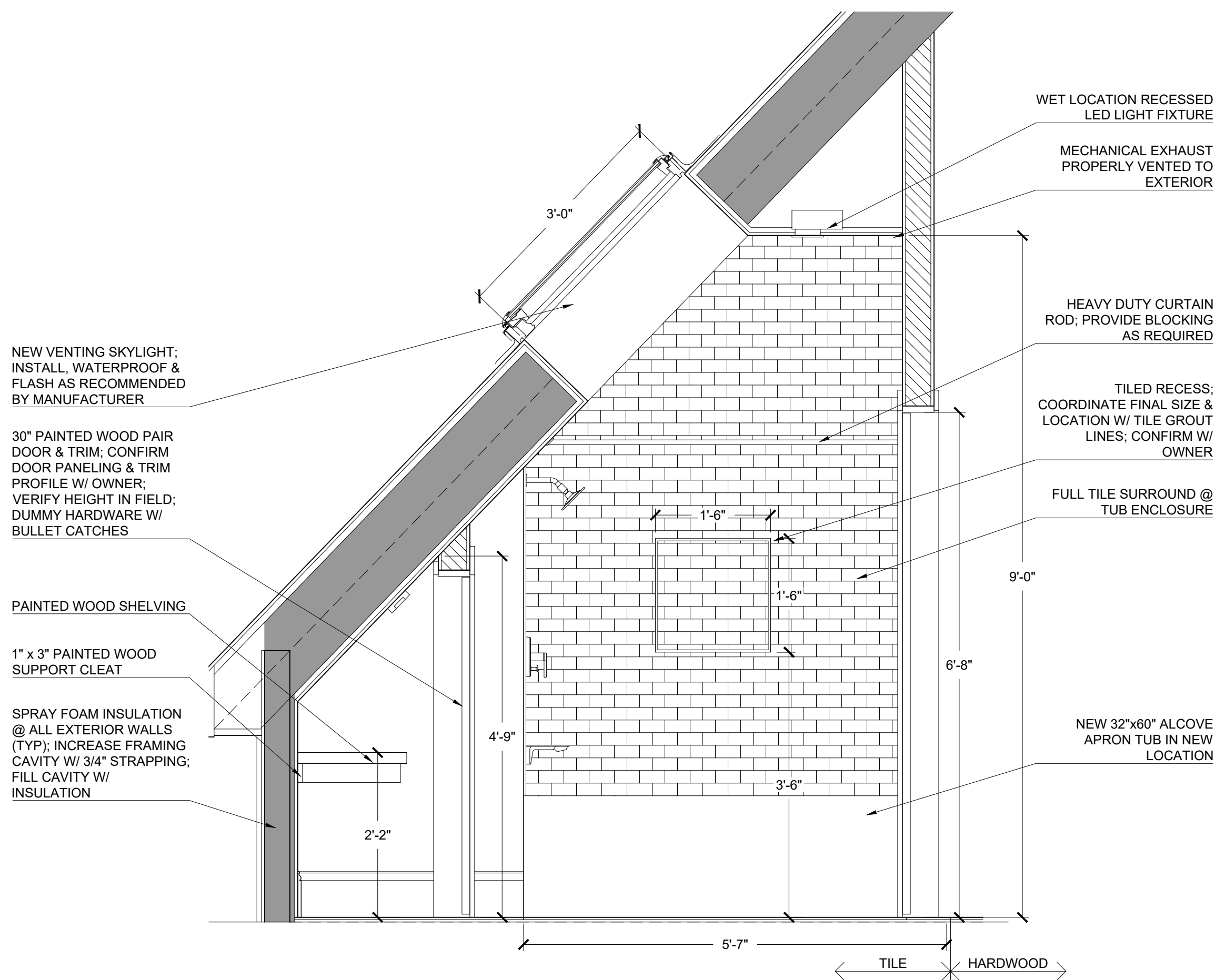
NOTE:
• PROVIDE UNCOUPLING MEMBRANE @ ALL TILE FLOORING
• PROVIDE BLOCKING FOR ALL ACCESSORIES & COMPONENTS AS REQUIRED
• CONFIRM ALL FIXTURES, FINISHES, FITTINGS & ACCESSORIES W/ OWNER
• COORDINATE FIXTURE & ACCESSORY LOCATIONS W/ OWNER SPECIFIED COMPONENTS



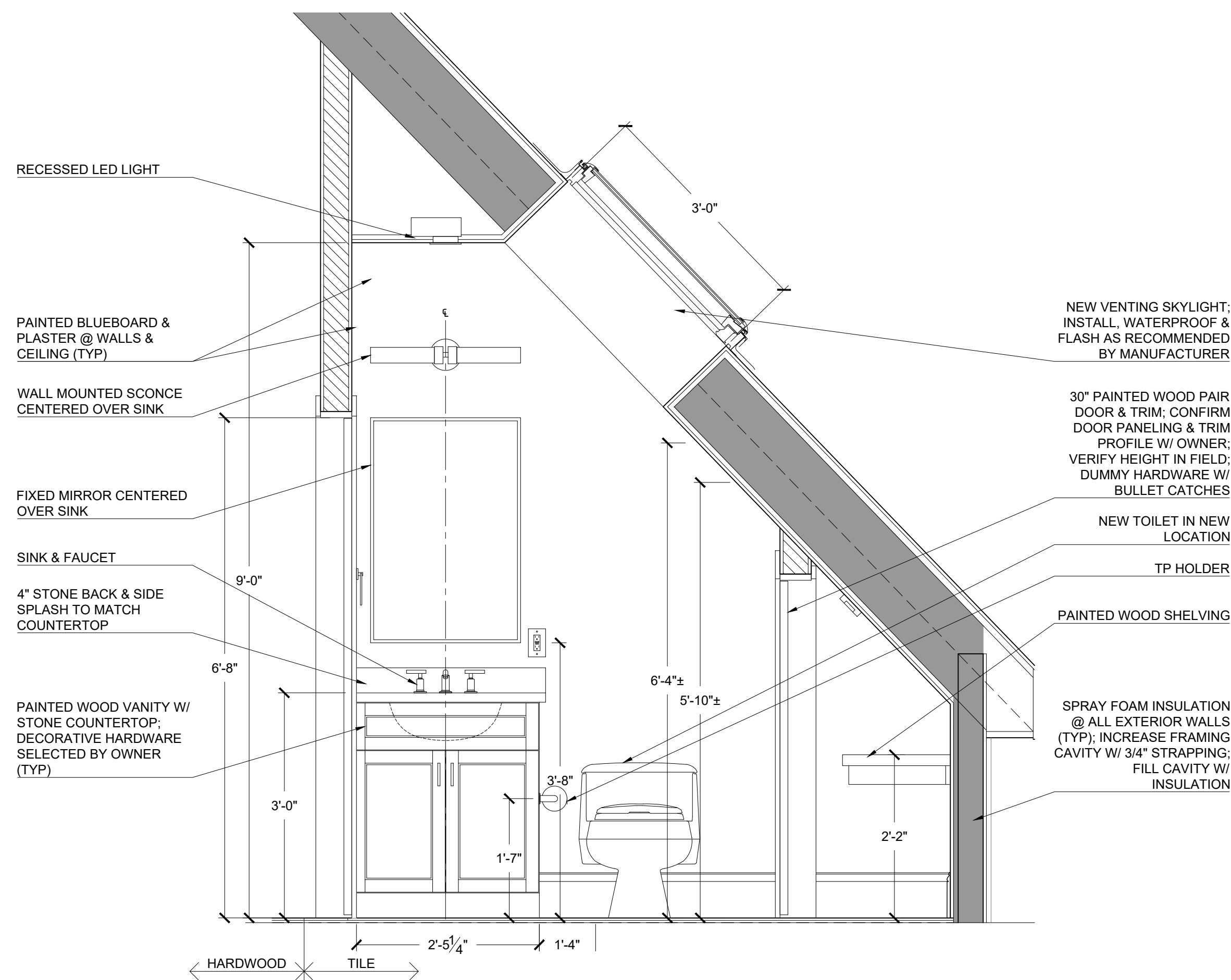
1
A-403
BYC - BATH 1 - 205 - ELEV
3/4" = 1'-0"



2
A-403
BYC - BATH 1 - 205 - ELEV
3/4" = 1'-0"

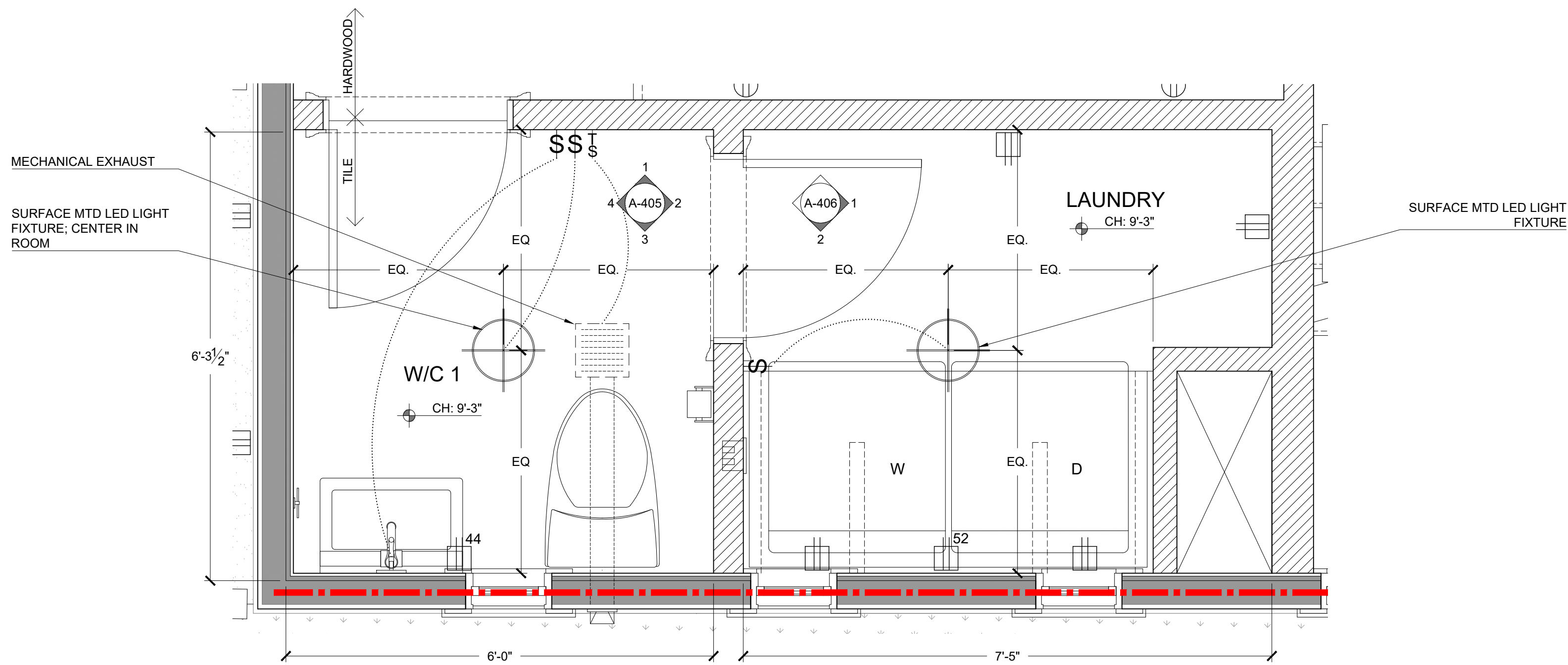
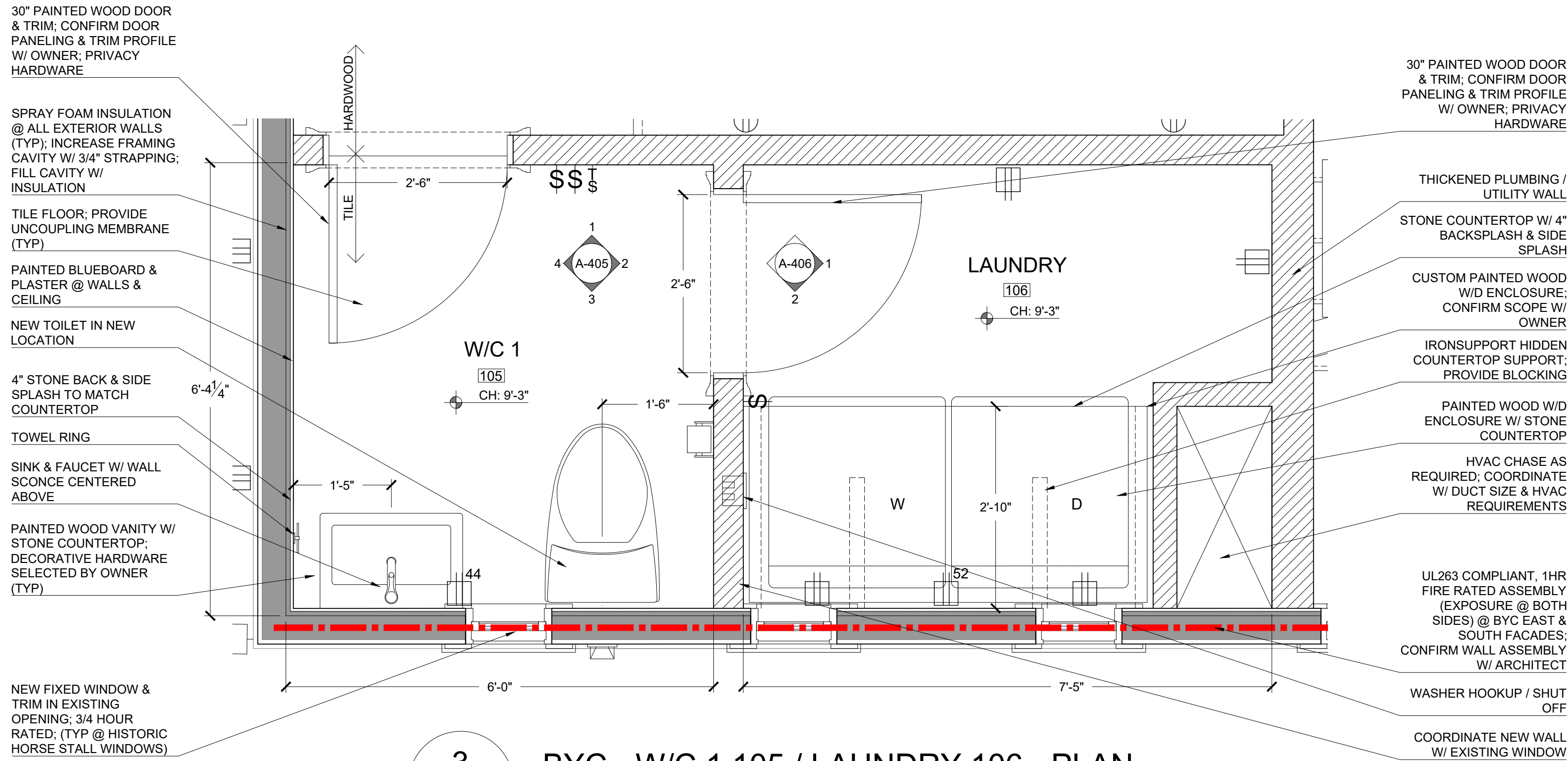


3
A-403
BYC - BATH 1 - 205 - ELEV
3/4" = 1'-0"



4
A-403
BYC - BATH 1 - 205 - ELEV
3/4" = 1'-0"

- NOTE:
- PROVIDE UNCOUPLING MEMBRANE @ ALL TILE FLOORING
 - PROVIDE BLOCKING FOR ALL ACCESSORIES & COMPONENTS AS REQUIRED
 - CONFIRM ALL FIXTURES, FINISHES, FITTINGS & ACCESSORIES W/ OWNER
 - COORDINATE FIXTURE & ACCESSORY LOCATIONS W/ OWNER SPECIFIED COMPONENTS

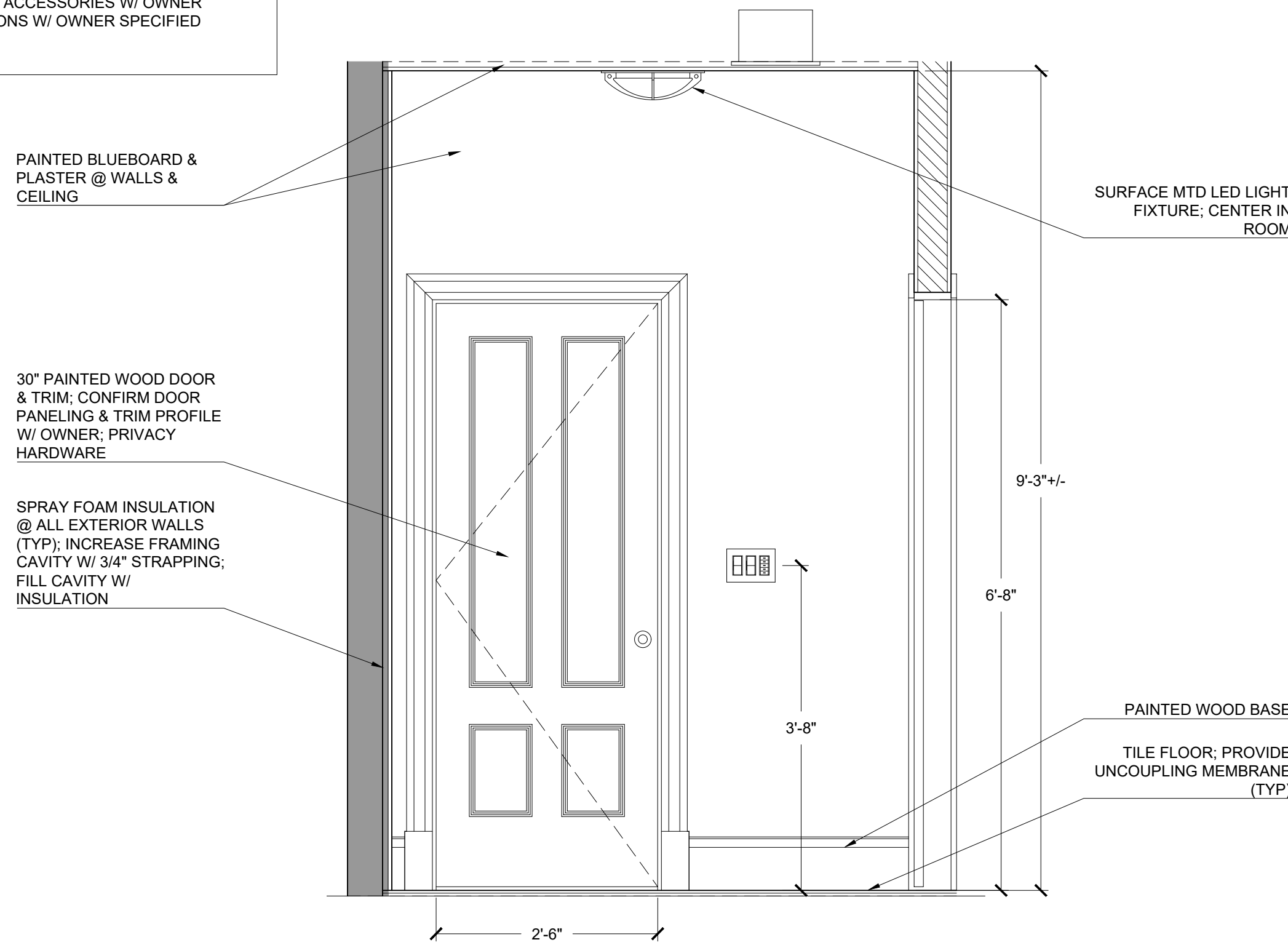


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DRAWING NUMBER:

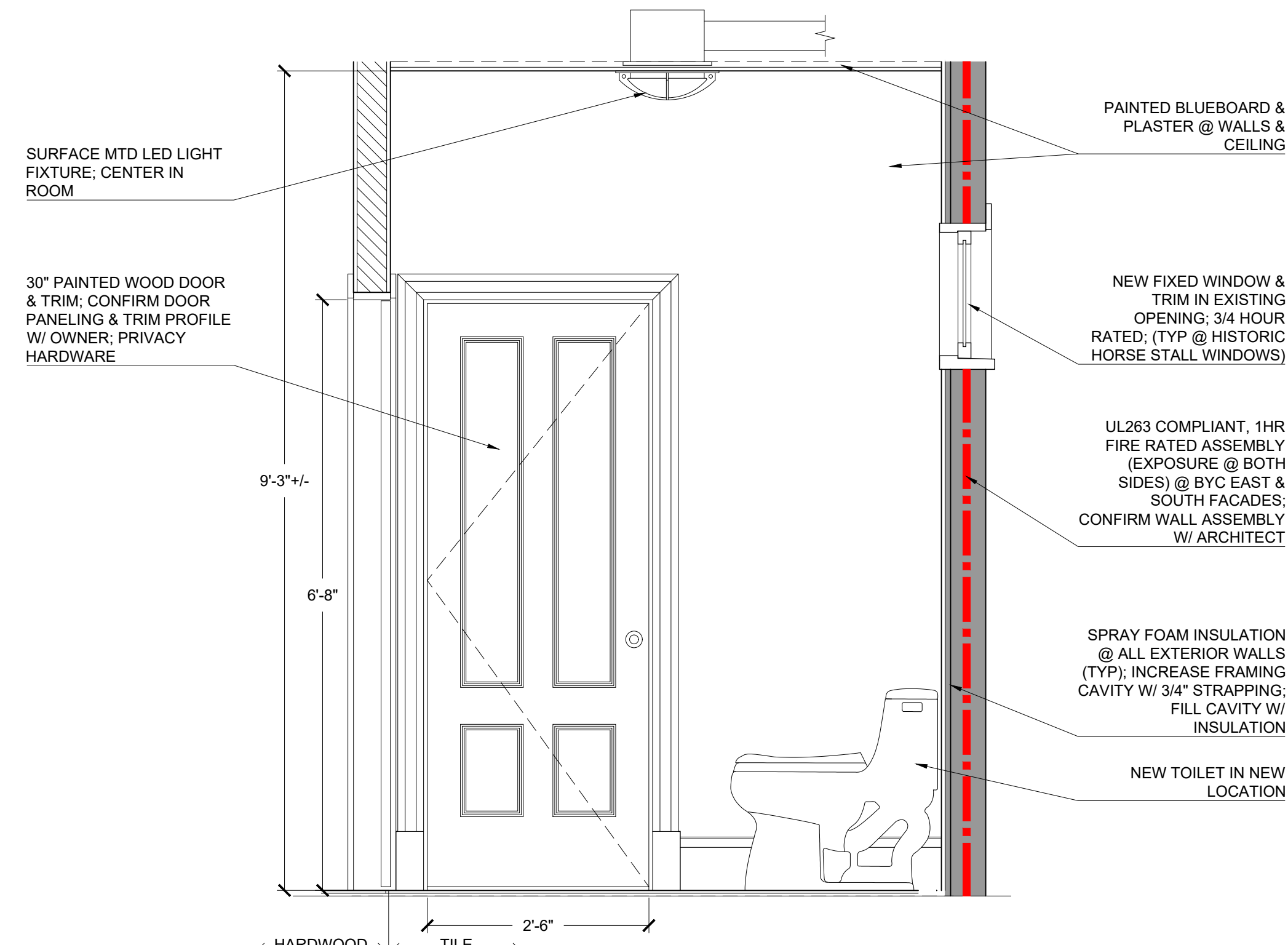
A-404

SCALE: 3/4"=1'-0"
DATE: 09.16.2022

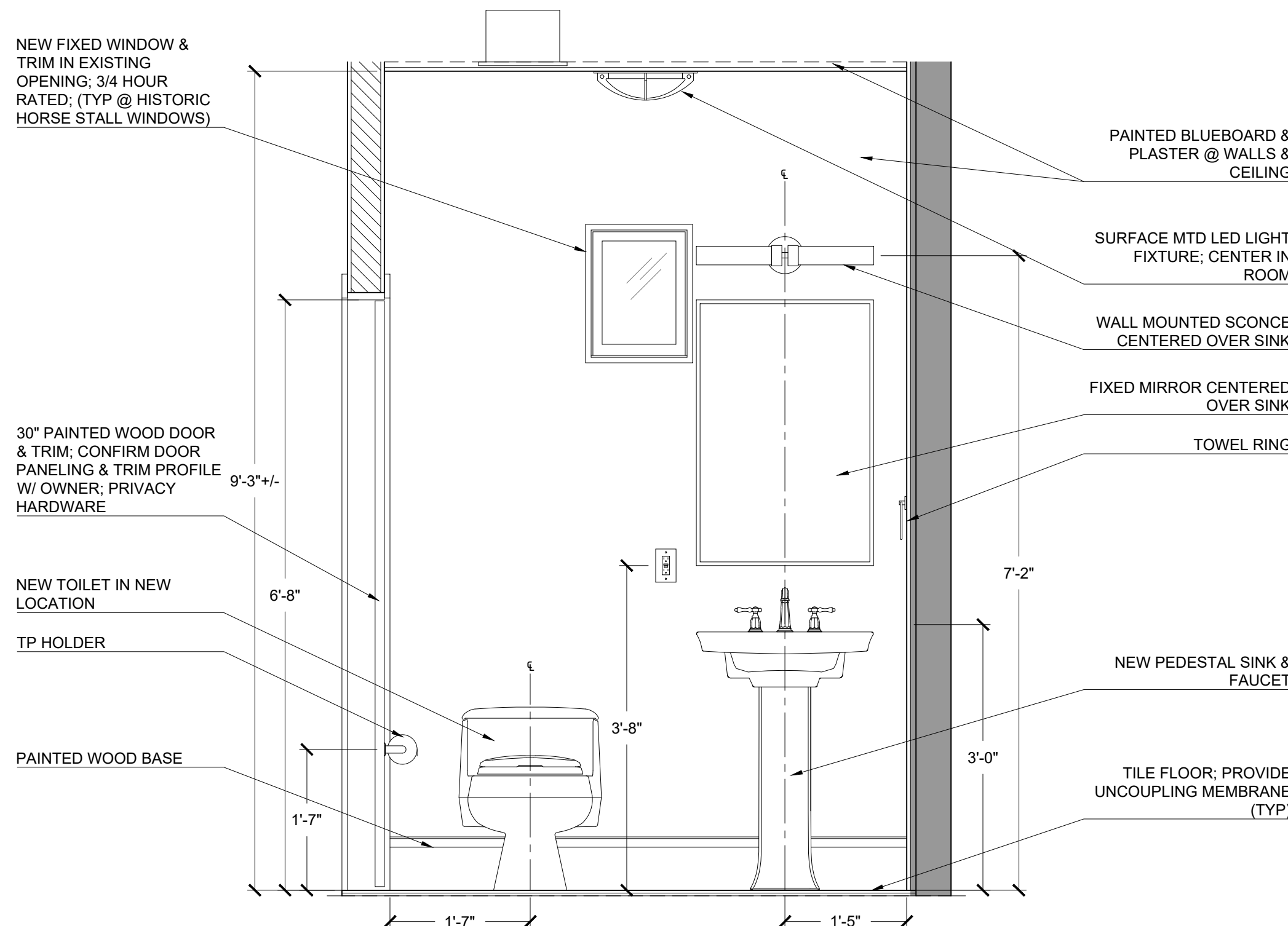
- NOTE:
- PROVIDE UNCOUPLING MEMBRANE @ ALL TILE FLOORING
 - PROVIDE BLOCKING FOR ALL ACCESSORIES & COMPONENTS AS REQUIRED
 - CONFIRM ALL FIXTURES, FINISHES, FITTINGS & ACCESSORIES W/ OWNER
 - COORDINATE FIXTURE & ACCESSORY LOCATIONS W/ OWNER SPECIFIED COMPONENTS



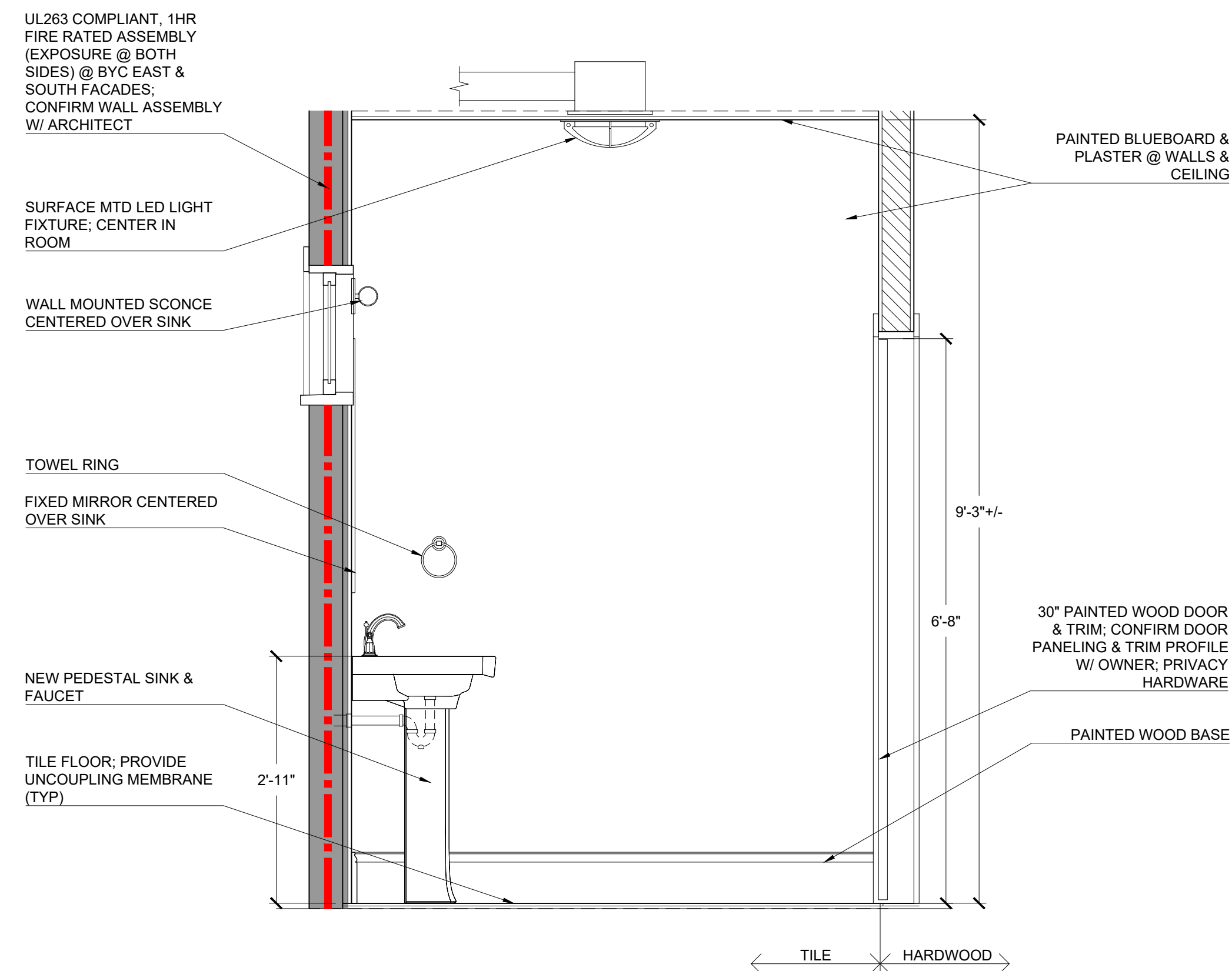
1
A-405
BYC - W/C 1 - 105 - ELEV
3/4" = 1'-0"



2
A-405
BYC - W/C 1 - 105 - ELEV
3/4" = 1'-0"

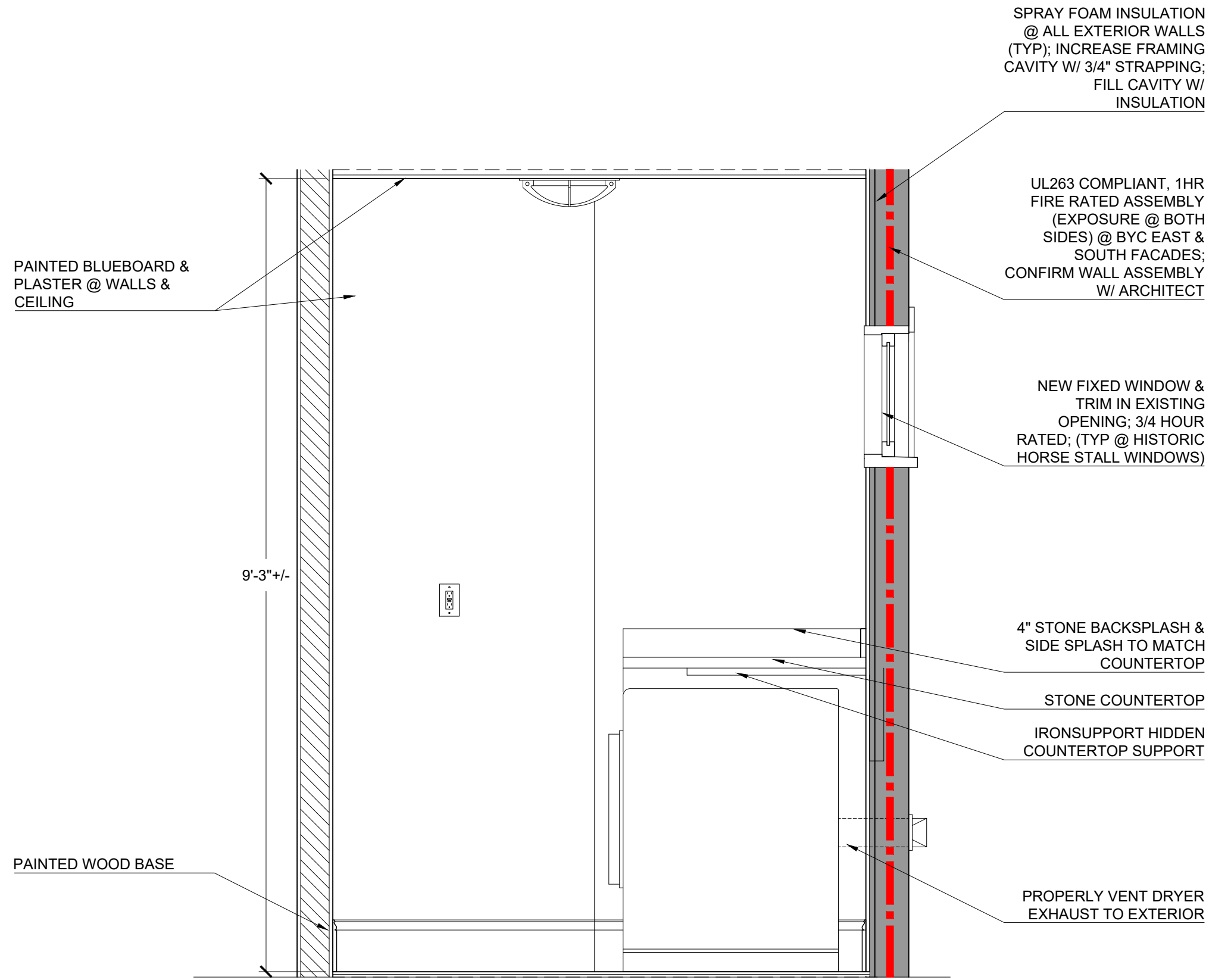


3
A-405
BYC - W/C 1 - 105 - ELEV
3/4" = 1'-0"

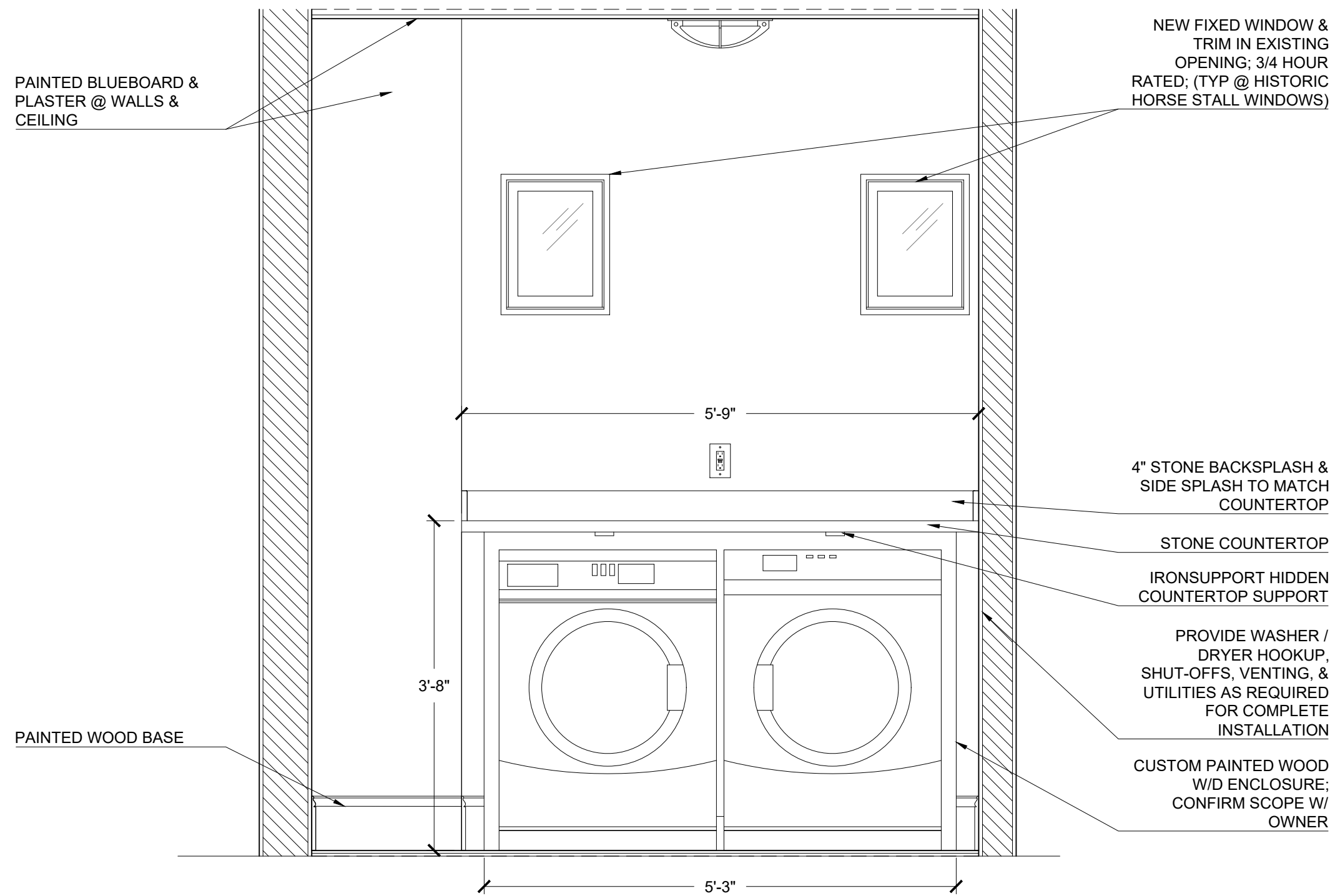


4
A-405
BYC - W/C 1 - 105 - ELEV
3/4" = 1'-0"

- NOTE:
- PROVIDE UNCOUPLING MEMBRANE @ ALL TILE FLOORING
 - PROVIDE BLOCKING FOR ALL ACCESSORIES & COMPONENTS AS REQUIRED
 - CONFIRM ALL FIXTURES, FINISHES, FITTINGS & ACCESSORIES W/ OWNER
 - COORDINATE FIXTURE & ACCESSORY LOCATIONS W/ OWNER SPECIFIED COMPONENTS



1
A-406
BYC - LAUNDRY - 106 - ELEV
3/4" = 1'-0"



2
A-406
BYC - LAUNDRY - 106 - ELEV
3/4" = 1'-0"

PROPOSED BYC - LAUNDRY 106 ELEVATIONS
PROPOSED RESIDENTIAL RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144



PROJECT NUMBER: 202037
DRAWING NUMBER:

A-406

SCALE: 3/4"=1'-0"
DATE: 09.16.2022

PROPOSED BACKYARD COTTAGE RENOVATION

21-23 FRANCESCA AVENUE

SOMERVILLE, MASSACHUSETTS 02144

OWNER
Manuel Zepeda & Katherine Jong
21 Francesca Avenue
Somerville, MA 02144
617.233.7227

ARCHITECT
Marc A. Maxwell, AIA
Principal Architect

John Williams, AIA
Project Architect

Maxwell Architects LLC
20 Windom Street
Somerville, MA 02145
617.666.9222

STRUCTURAL ENGINEER
Structures North Consulting Engineers, Inc.
60 Washington Street, Suite 401
Salem, MA 01970
978.745.6817

BUILDING CODE ANALYSIS:

780 CMR 9th Edition - 2015 ICC with MA amendments

Use Group: R-3 (*no change*)
Construction Type: V

IEBC:
Proposed work is a Level 3 Alteration
801.3 All new construction elements, components, systems, and spaces shall comply with the requirements of the IBC.
908.1 Level 3 alterations to existing buildings or structures are permitted without requiring the entire or structure to comply with the energy requirements of the IECC or IRC. The alterations shall conform to the energy requirements of the IECC or IRC as they relate to new construction only.

IECC:
R501.1.1 Additions, alterations, or repairs to an existing building, building system or portion thereof shall comply with section R502, R503 or R504. Unaltered portions of the existing building or building supply system shall not be required to comply with this code.
Insulation and fenestration requirements by component:
-Climate zone 5
-Fenestration U-factor: .30
-Skylight U-factor: .55
-Ceiling R-value: 49 (See R402.2.2 for ceilings without attic spaces, R-30 min)
-Wood frame wall R-value: 20 or 13+5ci
-Mass wall R-value: 13/17
-Floor R-value: 30 (Or fill framing cavity, R-19 min)
-Basement wall R-value: 15/19
-Slab R-value & depth: 10, 4"
-Crawl space wall R-value: 15/19

IRC:
R310.1 Basements, habitable attics, and every sleeping room shall have not less than one operable emergency escape and rescue opening.
R311.1 Dwellings shall be provided with a means of egress in accordance with section R311.
R313.2 Only one and two-family dwellings having an aggregate area greater than 14,400 SF shall have fire sprinklers installed in accordance with NFPA 13D
R313.2.1 Automatic residential fire sprinkler systems shall be designed and installed in accordance with Section NFPA 13D

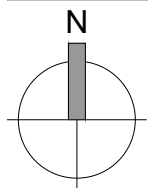
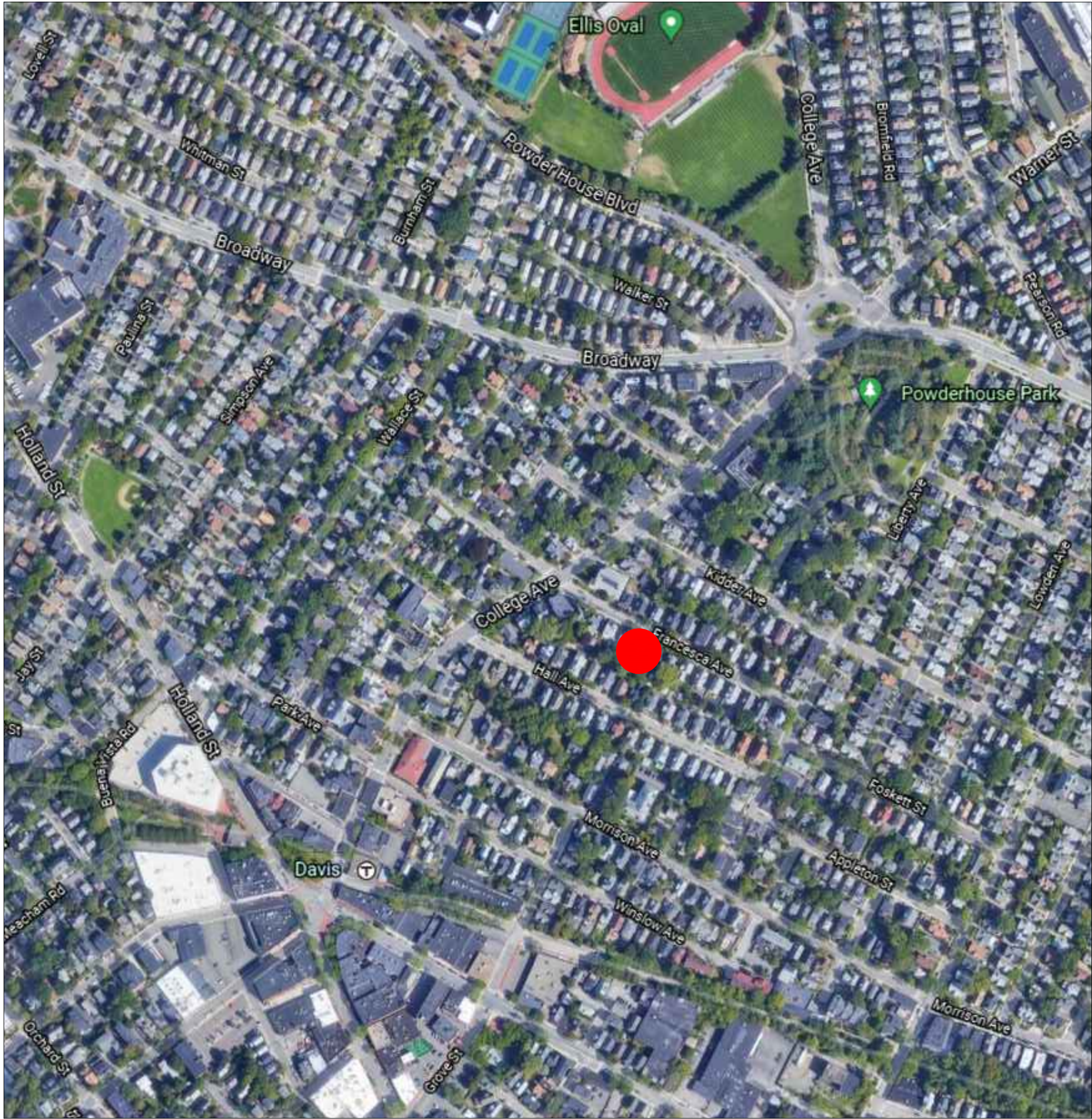
PROJECT NARRATIVE:

This project consists of a full gut renovation of the existing rear yard structure on the property. All existing MEP-FA systems will be replaced with new high efficiency systems to meet current building codes and standards. Insulation and energy conservation components will also be upgraded to meet current building codes and standards. The existing structure requires extensive structural modification and reinforcement to accommodate the conversion and preserve the existing building; including a full foundation replacement. Expansive existing asphalt will be removed and replaced with green score compliant landscaping and permeable surfaces.

ZONING ANALYSIS

Zone: NR

Existing Carriage House/Barn			
3.1.12 Backyard Cottage	Required	Provided	
Lot Dimensions			
Lot Width (front driveway access)	34 ft	50 ft (existing)	conforming
Lot Depth	80 ft	101.52 ft (existing)	conforming
Lot Development			
Lot Coverage (maximum)	60%	49%	conforming
Green Score	0.35 minimum	0.38	conforming
Building Setbacks			
Primary Front Setback (min/max)	60 ft (min)	74'-9" (existing)	conforming
Side Setbacks	3 ft	1'-10" east	existing non-conforming
	3 ft	5'-7" west	conforming
Rear Setback (min) Main House	3 ft	1'-8"	existing non-conforming
Building Separation (min)			
Main house to Carriage House	10 ft	15'-6"	conforming
Carriage House to 17-19 Garage	10 ft	7'-1"	existing non-conforming
Main Massing			
Width (max)	24 ft	42'-5"	existing non-conforming
Depth (max)	32 ft	24'-5"	conforming
Floor Plate (max)	576 sf	975 sf (existing)	existing non-conforming
Story Height (max)	12 ft	10'-9" (existing)	conforming
Number of Stories (max)	1.5	1.5	conforming
Roof Type	Flat, Gable	Gable/Hip with Cupola	conforming
Façade Composition			
Ground Story Fenestration Residential Use (min/max)	15%- 50%	19%	conforming
Ground Story Fenestration Vehicular Parking (min/max)	0%- 50%	0%	conforming
Upper Story Fenestration (min/max)	15%-50%	NA	
Use & Occupancy			
Dwelling Units per Lot (max)	3	2	conforming
Dwelling Units (max)	1	1	conforming



LOCUS MAP



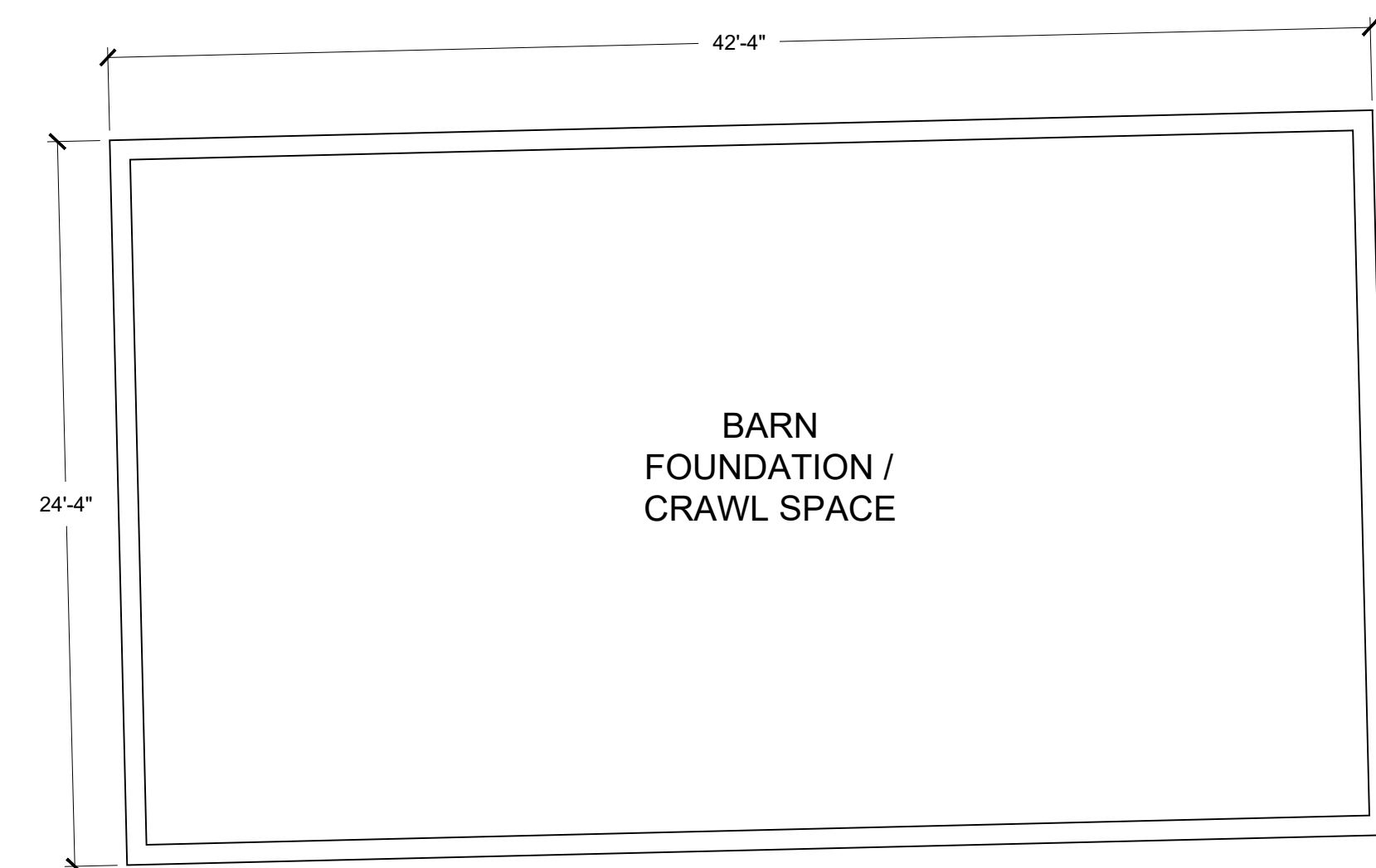
PROPOSED MASSING MODEL



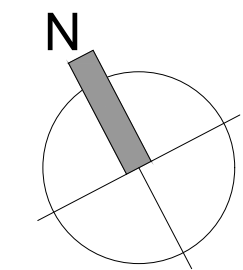
PROJECT NUMBER: 202037
DRAWING NUMBER:

T-100

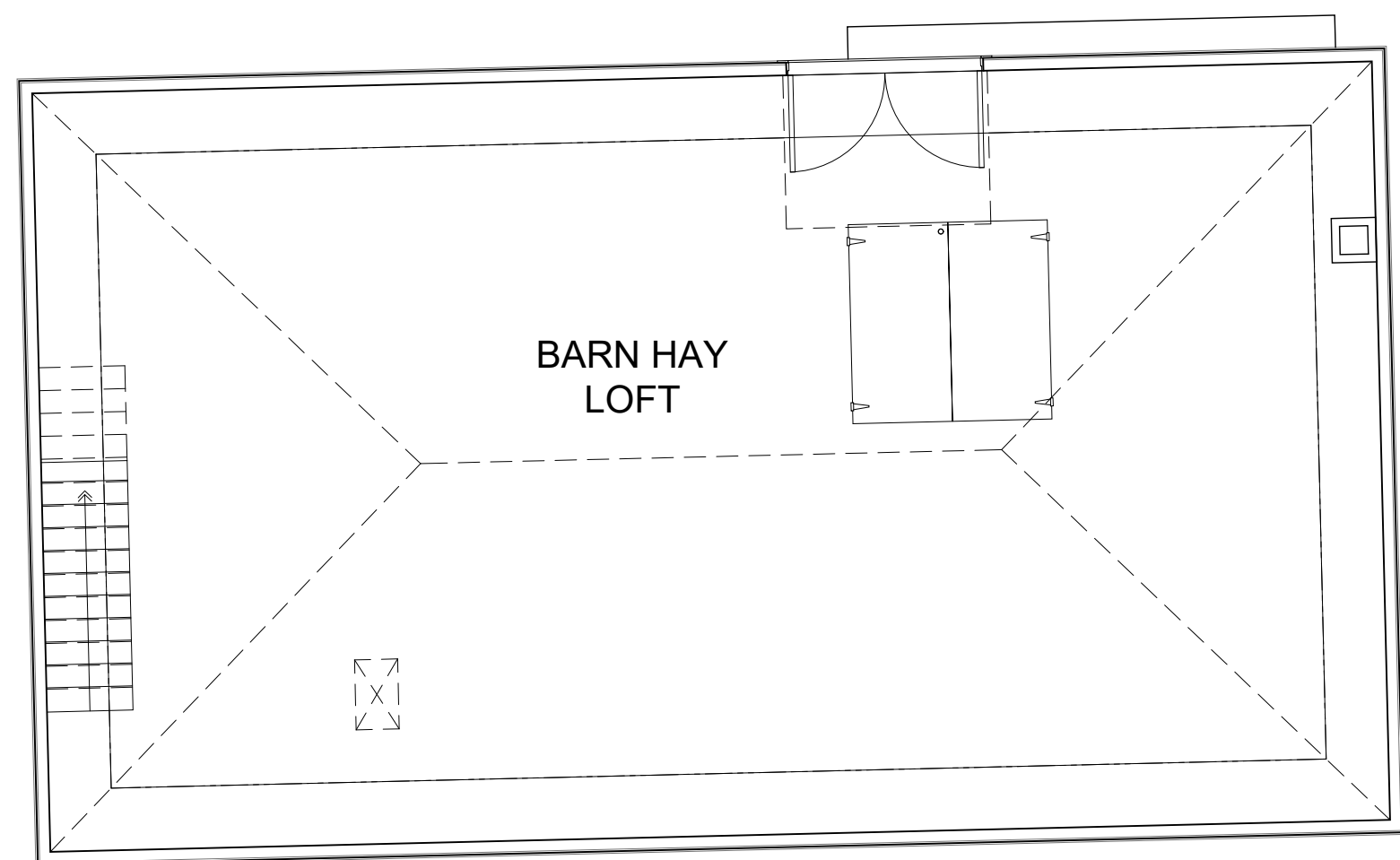
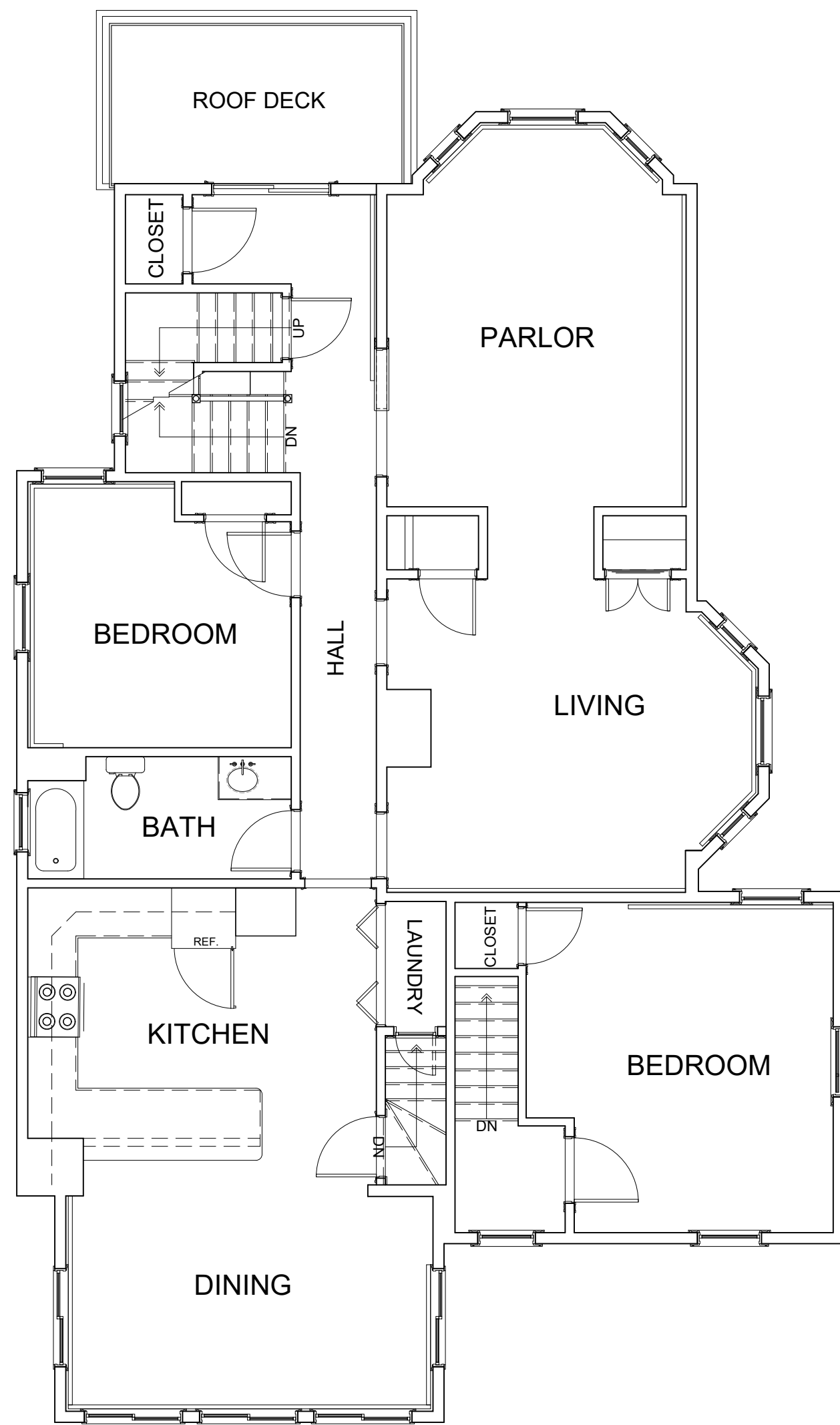
SCALE: AS NOTED
DATE: 12.23.2022



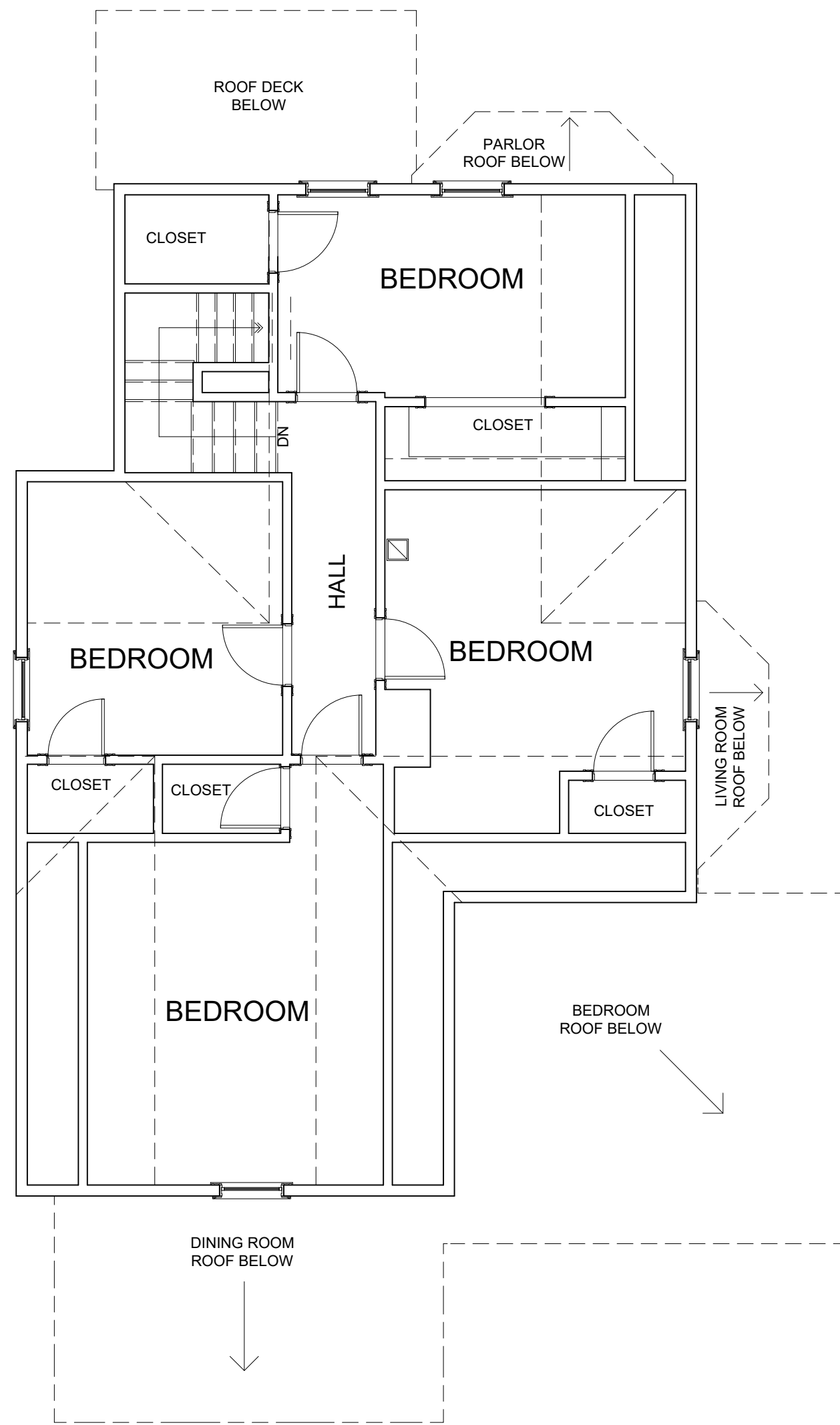
2 EXISTING 1st FLOOR PLAN
EX-100 3/16" = 1'-0"



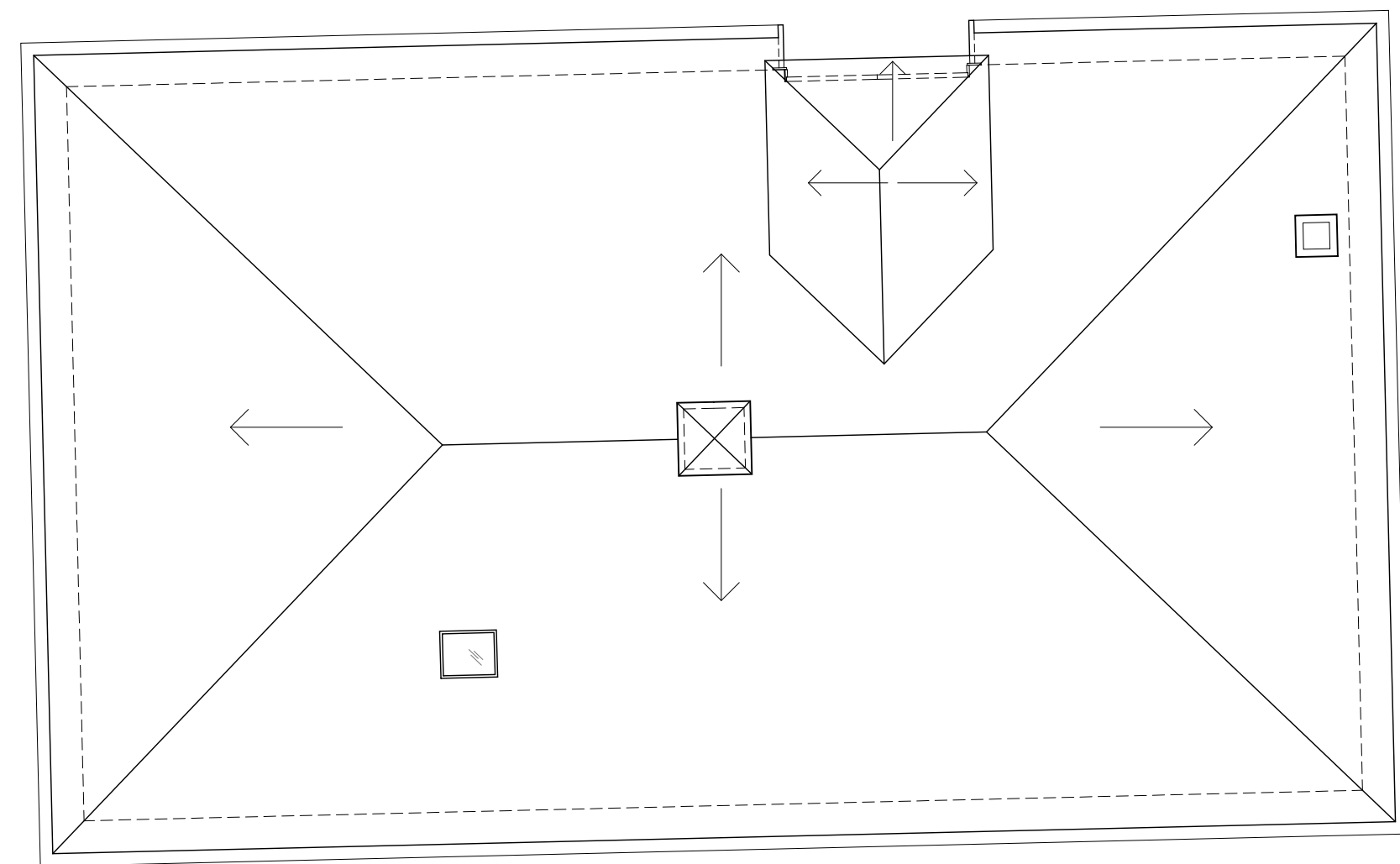
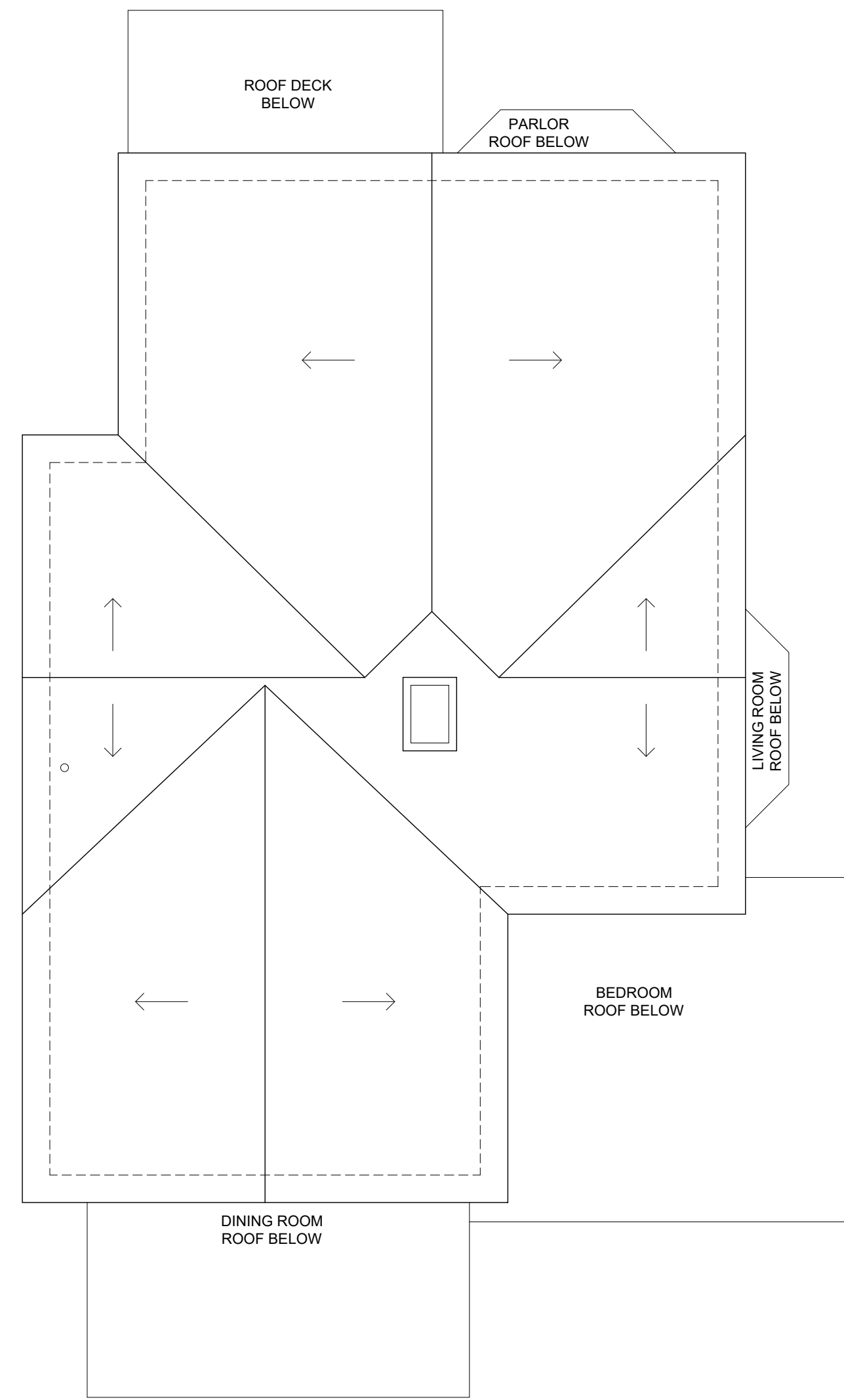
PROJECT NUMBER: 202037
DRAWING NUMBER:
EX-100
SCALE: 3/16"=1'-0"
DATE: 12.23.2022



1
EX-101
EXISTING 2nd FLOOR PLAN
3/16" = 1'-0"



2
EX-101
EXISTING 3rd FLOOR PLAN
3/16" = 1'-0"



3
EX-101
EXISTING ROOF PLAN
3/16" = 1'-0"

EXISTING PLANS
PROPOSED TWO-FAMILY RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144



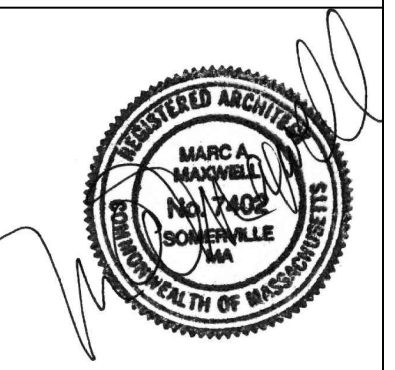
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DRAWING NUMBER:
EX-101
SCALE: 3/16"=1'-0"
DATE: 12.23.2022

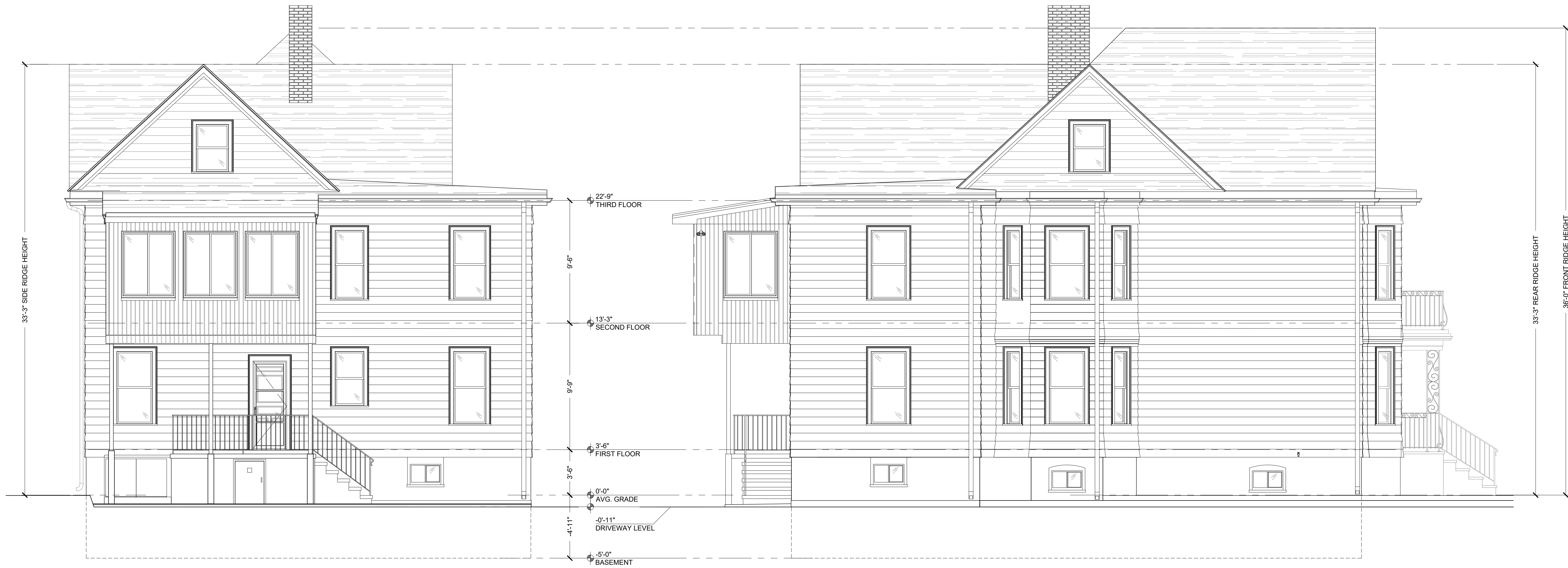
MAXWELL ARCHITECTS, LLC
PLANNING / PROGRAMMING / DESIGN
Architecture
Space Planning
Project Management
Facility Programming
20 Winslow Street
Somerville, Massachusetts 02144
(617) 866-5222
(617) 866-4557 FAX
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1
EX-200
EXISTING FRONT (NORTH) ELEVATION
1/4" = 1'-0"

2
EX-200
EXISTING SIDE (WEST) ELEVATION
1/4" = 1'-0"





1
EX-201
EXISTING REAR (SOUTH) ELEVATION
1/4" = 1'-0"

2
EX-201
EXISTING SIDE (EAST) ELEVATION
1/4" = 1'-0"

EXISTING PRIMARY STRUCTURE ELEVATIONS
PROPOSED TWO-FAMILY RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144

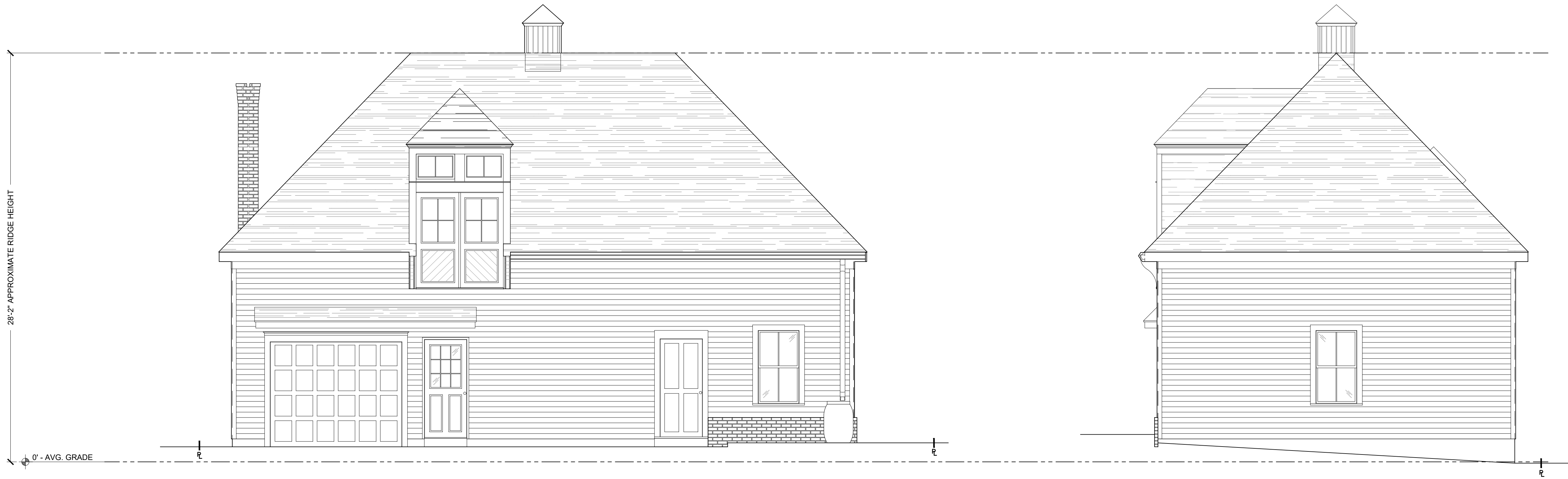


PROJECT NUMBER: 202037
DRAWING NUMBER:

EX-201

SCALE: 1/4"=1'-0"
DATE: 12.23.2022

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1
EX-202

BACKYARD COTTAGE
EXISTING FRONT (NORTH) ELEVATION

1/4" = 1'-0"

2
EX-202

BACKYARD COTTAGE
EXISTING SIDE (WEST) ELEVATION

1/4" = 1'-0"

EXISTING BACKYARD COTTAGE ELEVATIONS
PROPOSED TWO-FAMILY RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144



PROJECT NUMBER: 202037
DRAWING NUMBER:

EX-202

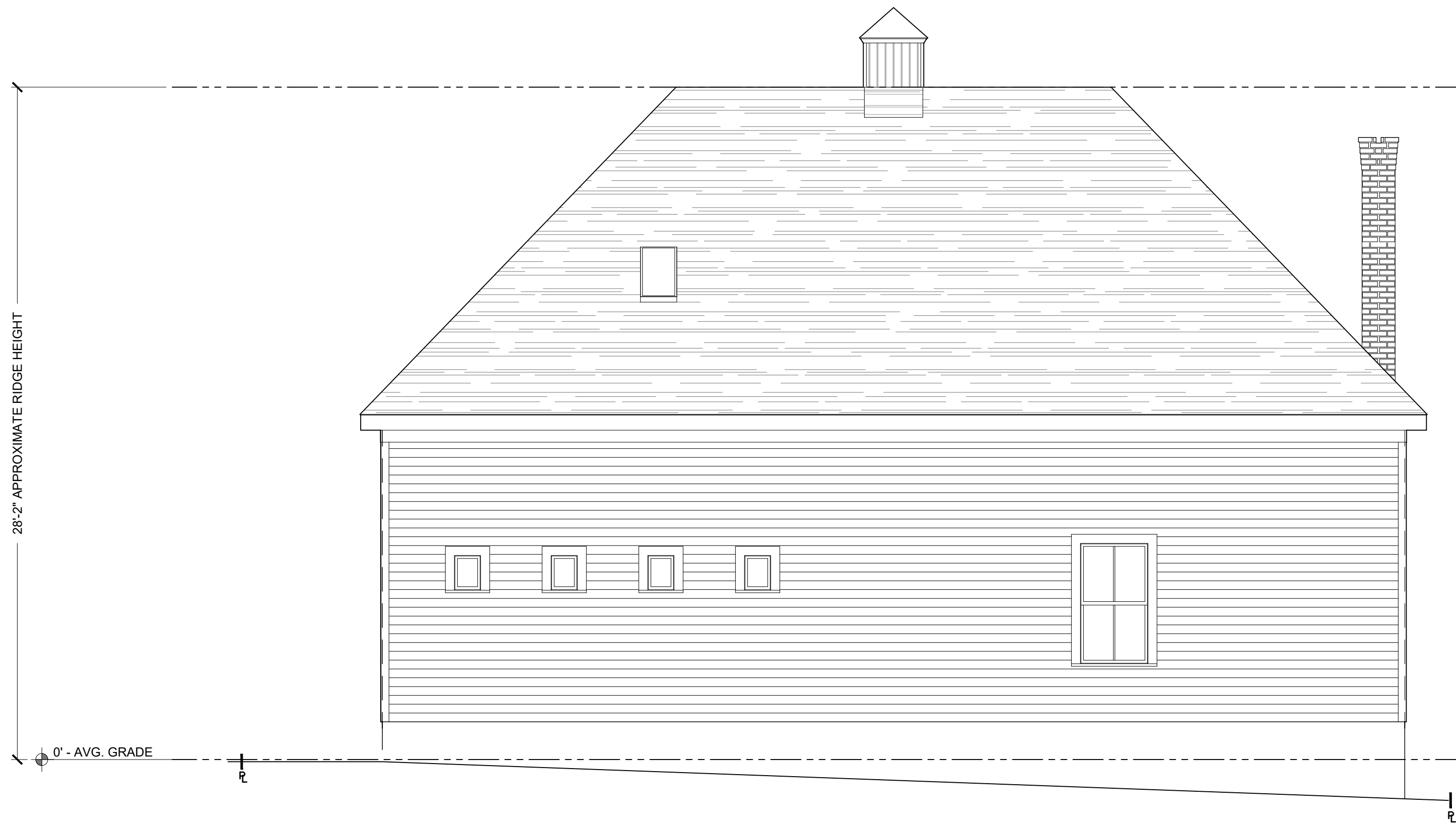
SCALE: 1/4"=1'-0"
DATE: 12.23.2022

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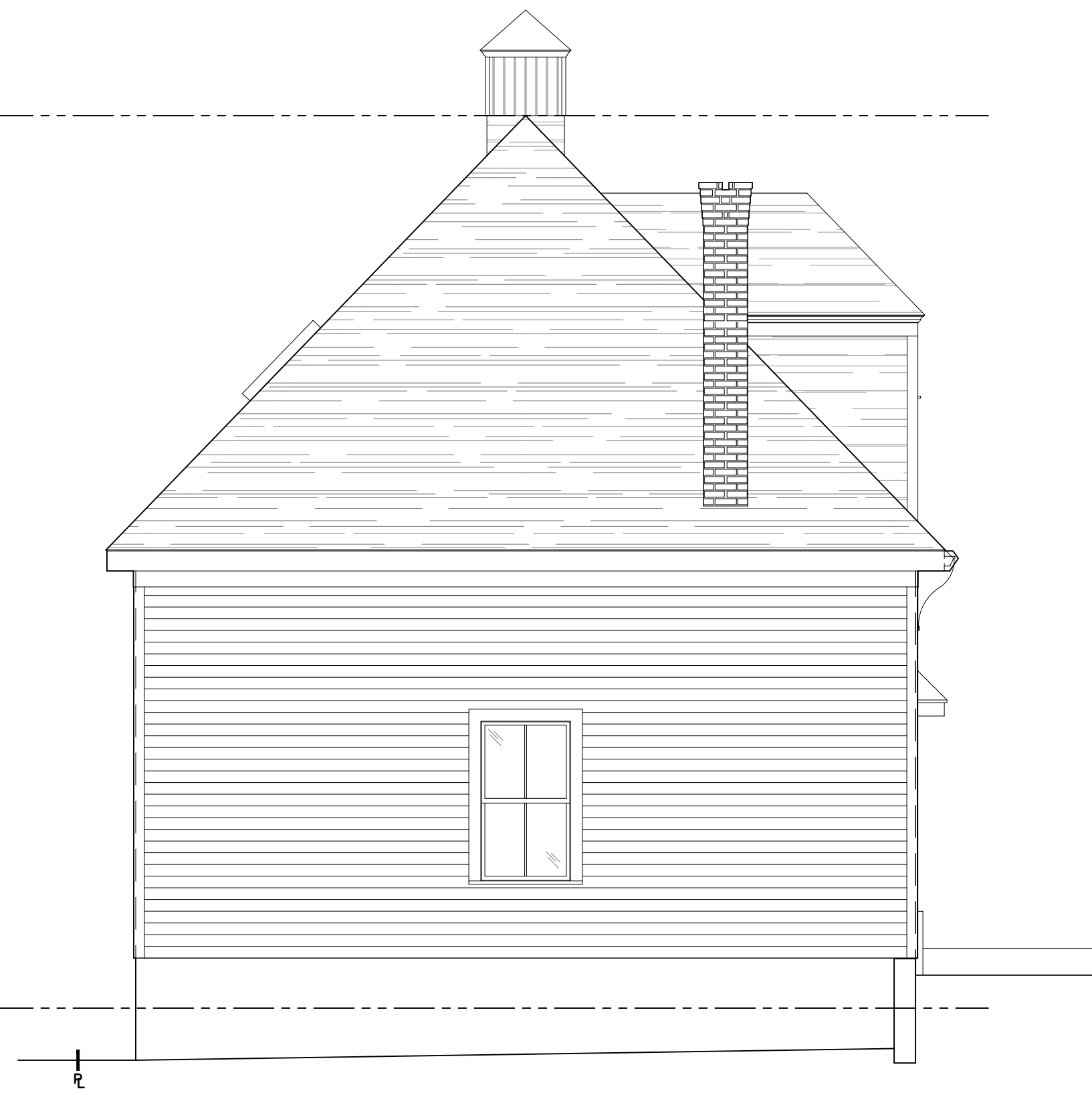
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1
EX-203

BACKYARD COTTAGE
EXISTING REAR (SOUTH) ELEVATION

1/4" = 1'-0"

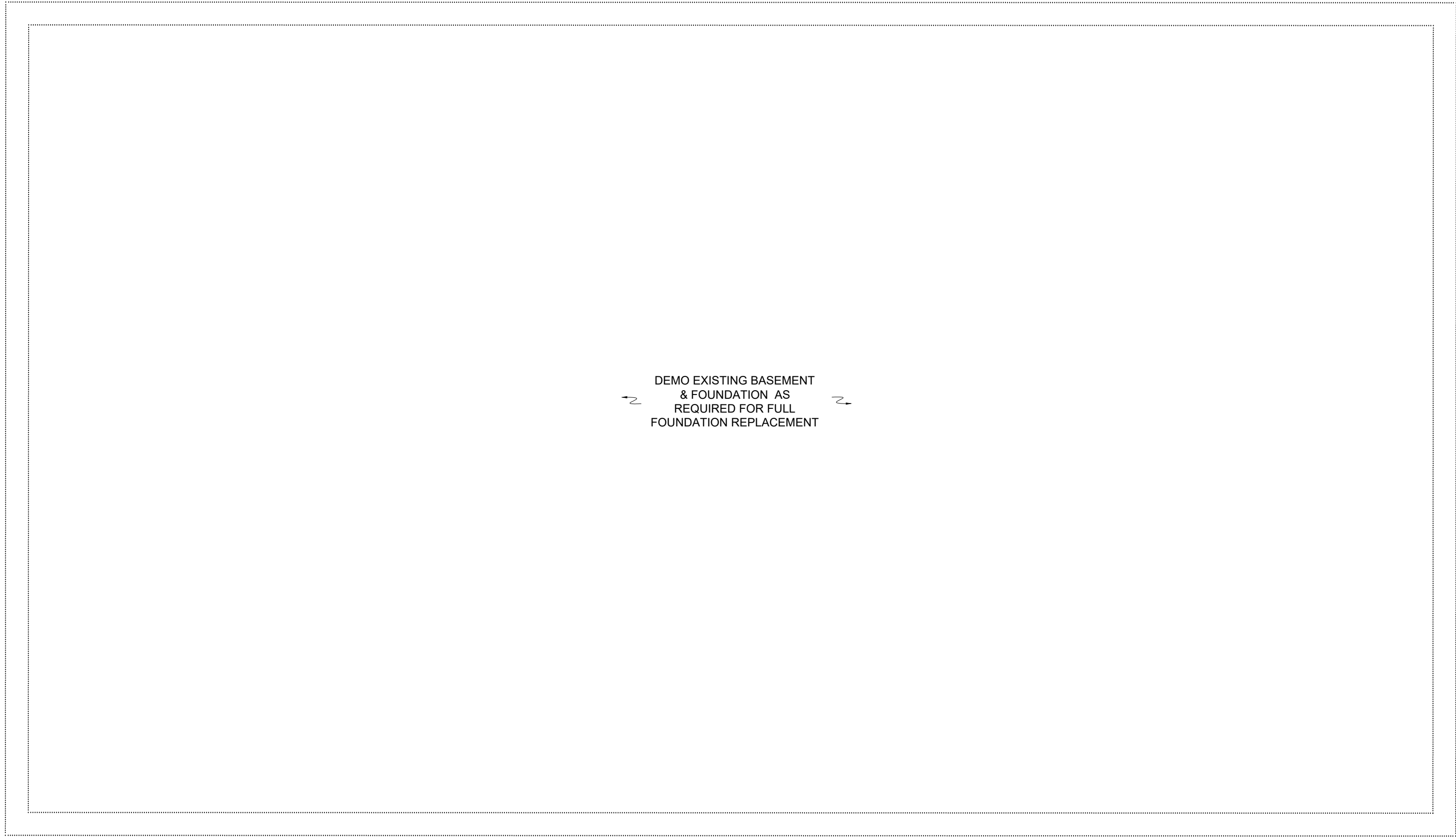


2
EX-203

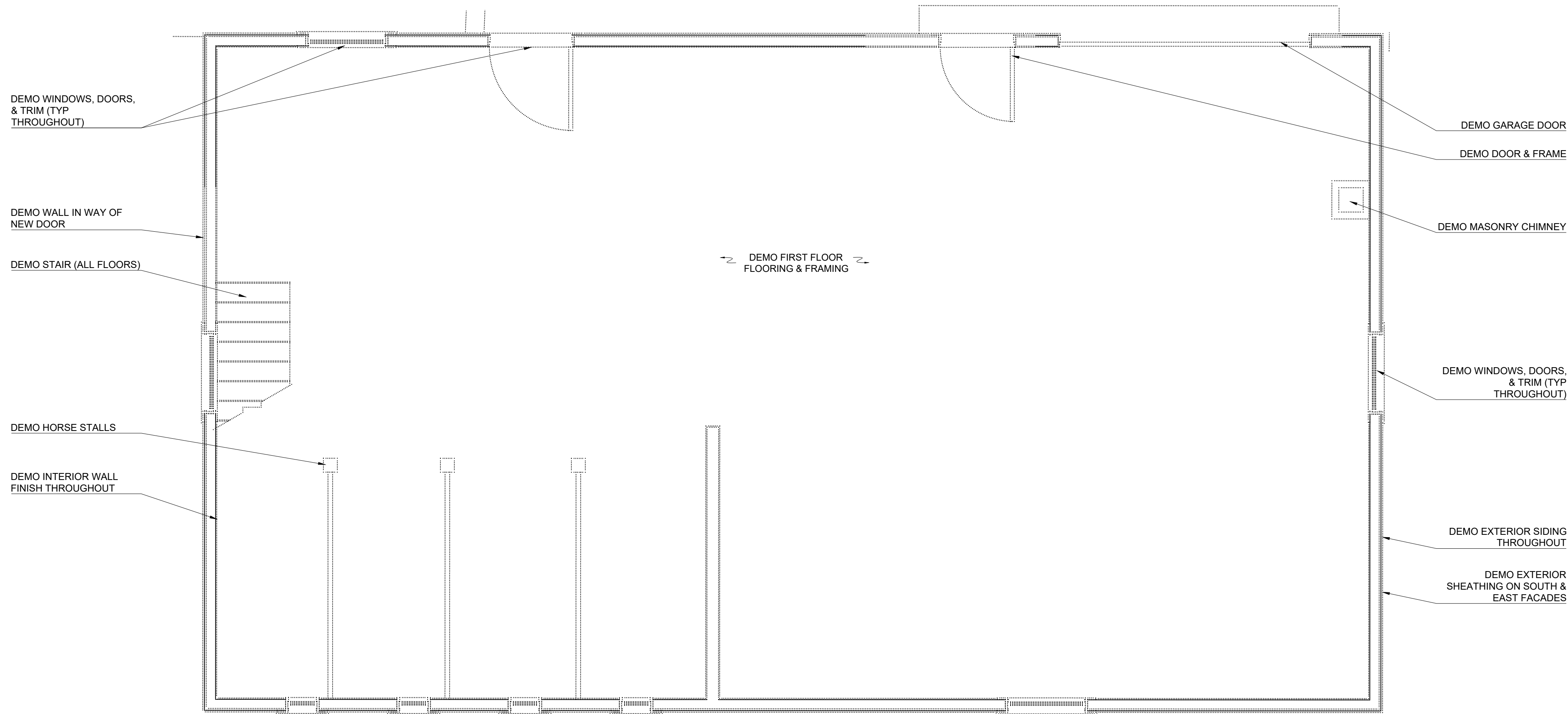
BACKYARD COTTAGE
EXISTING SIDE (EAST) ELEVATION

1/4" = 1'-0"





1
AD-111
BYC BASEMENT DEMO PLAN
3/8" = 1'-0"



2
AD-111
BYC 1ST FLOOR DEMO PLAN
3/8" = 1'-0"

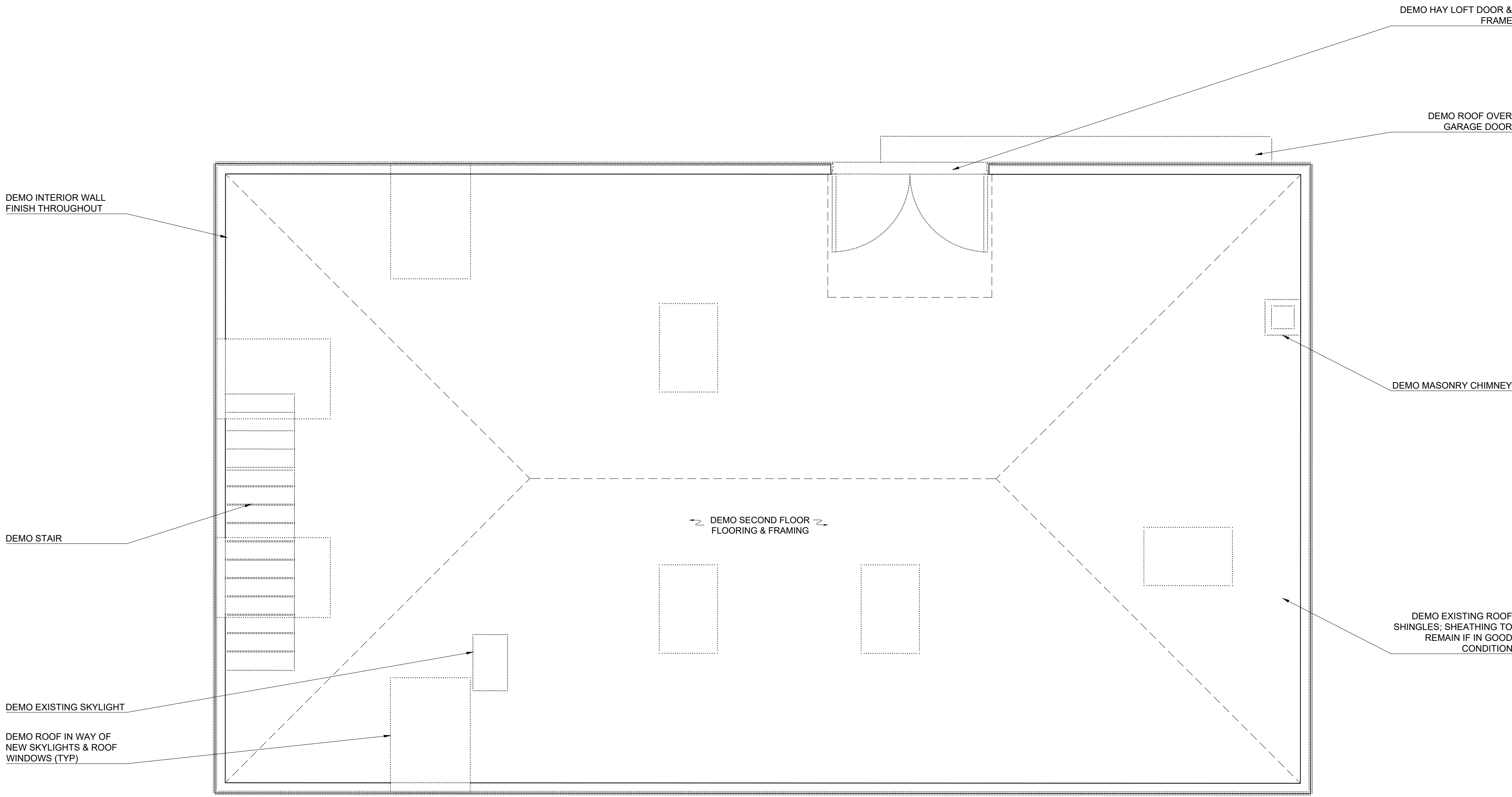
PROPOSED FLOOR PLANS
PROPOSED RESIDENTIAL RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144



PROJECT NUMBER: 202037
DRAWING NUMBER:

AD-111

SCALE: 3/8"=1'-0"
DATE: 12.23.2022



1
AD-112

BYC 2ND FLOOR DEMO PLAN

3/8" = 1'-0"

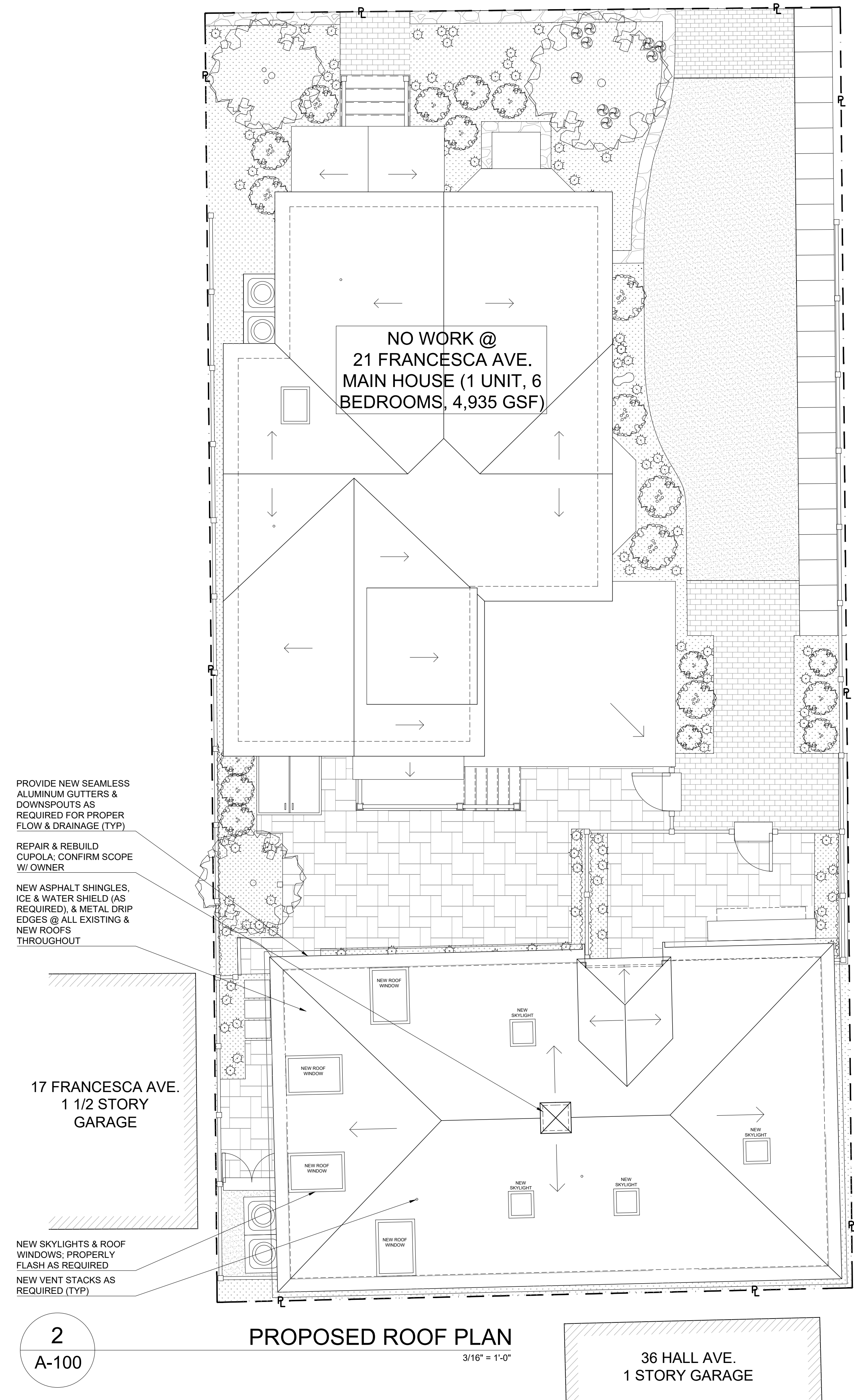
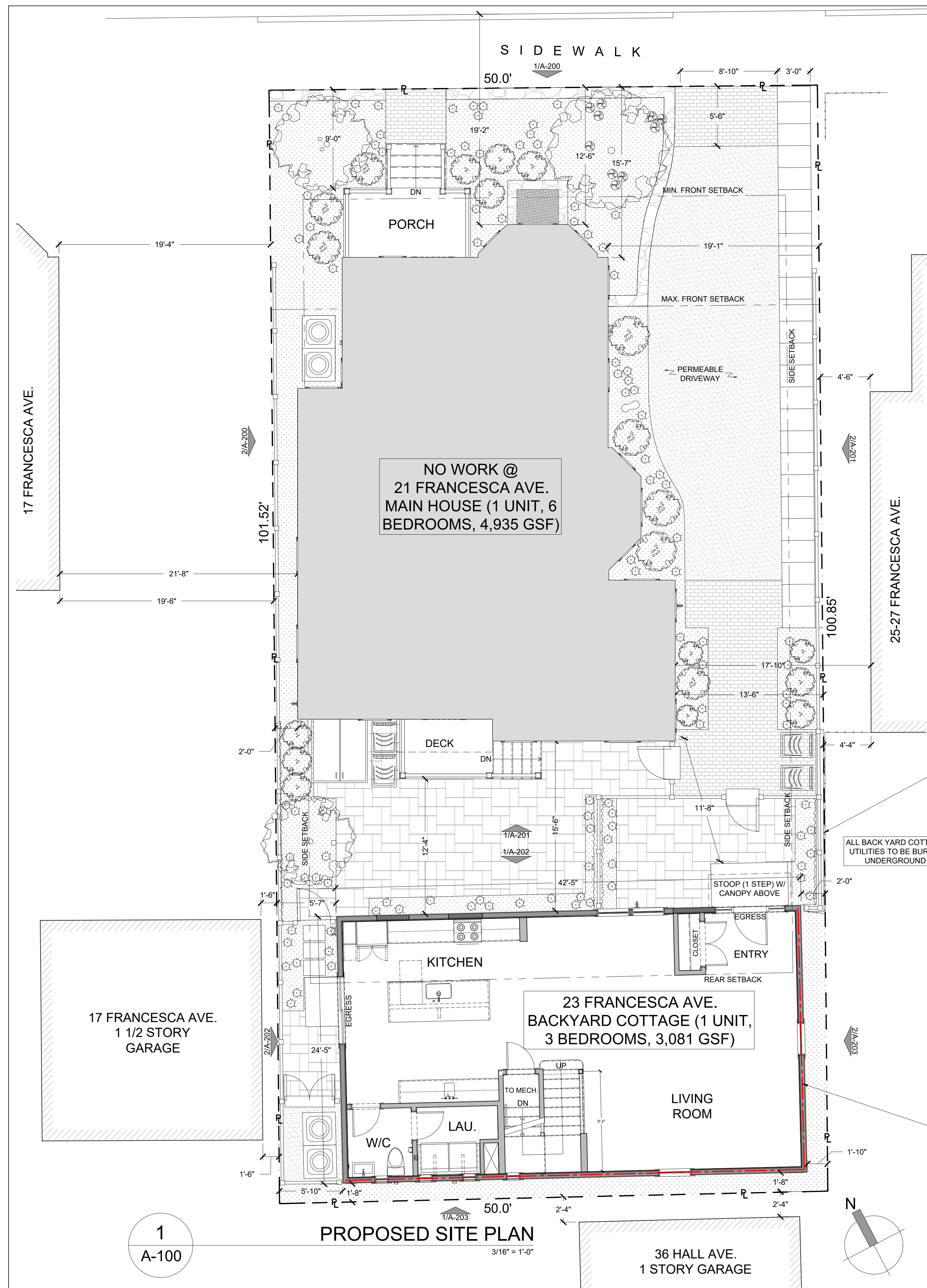
PROPOSED FLOOR PLANS
PROPOSED RESIDENTIAL RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144

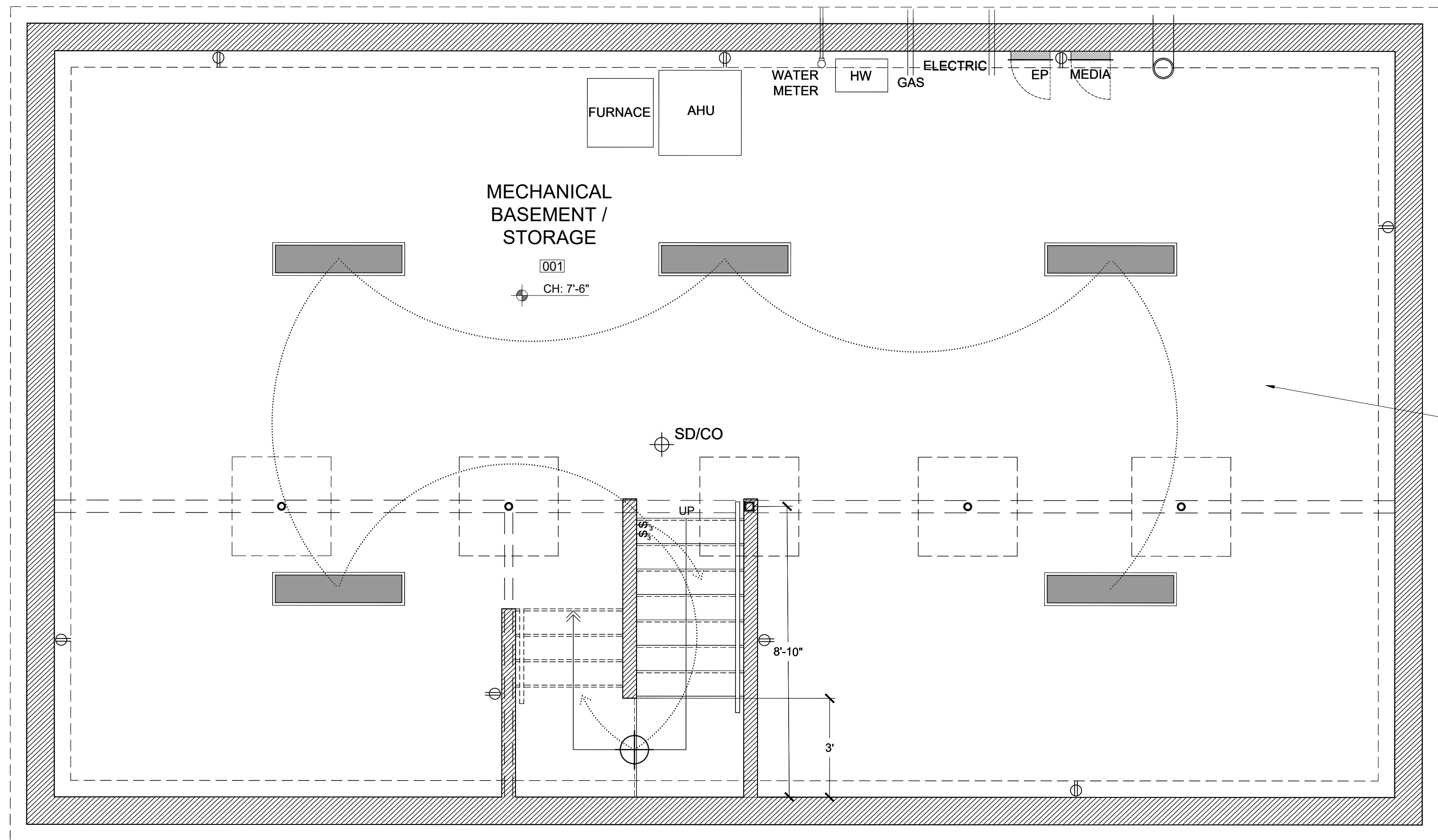


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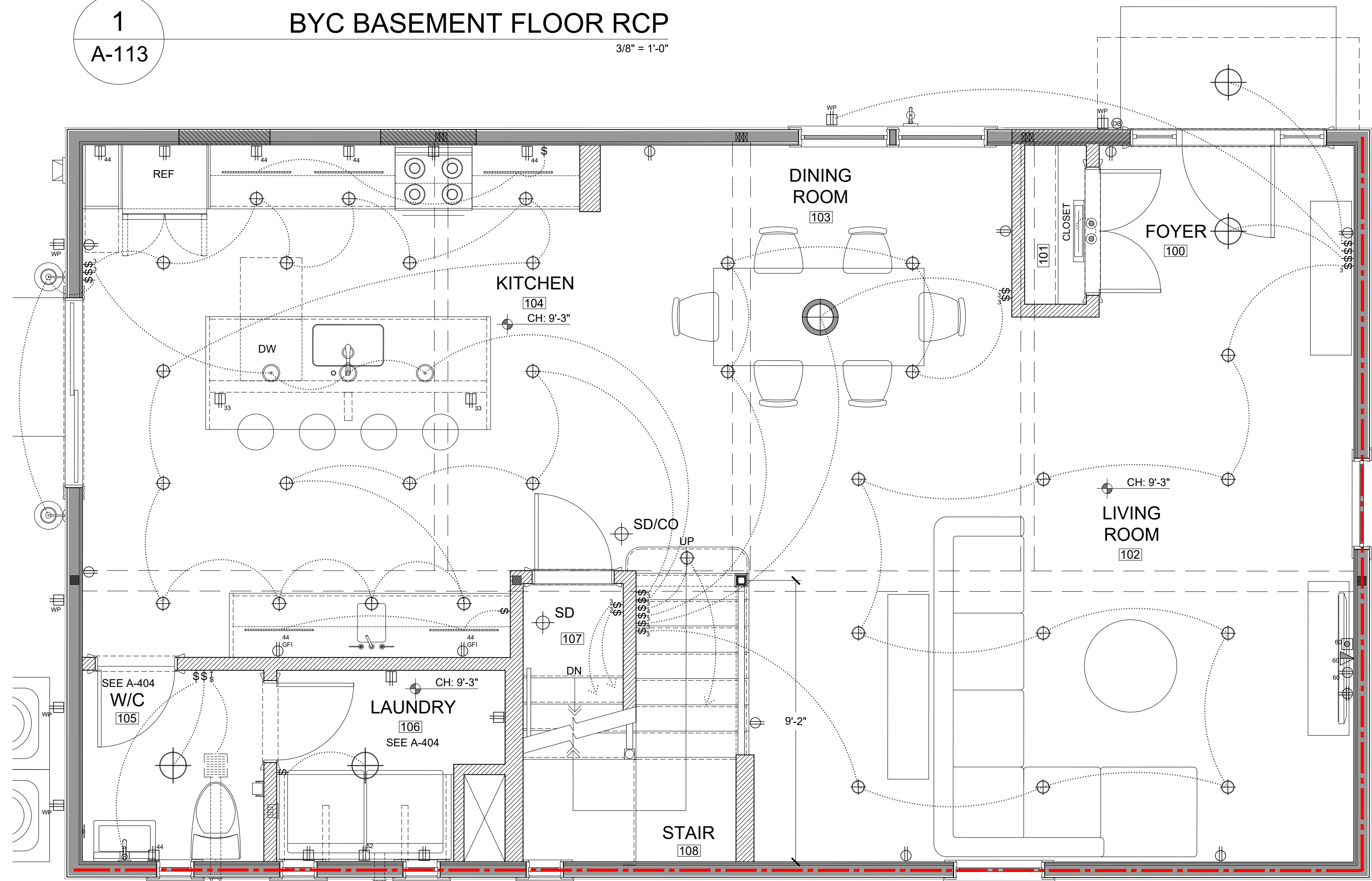
AD-112

SCALE: 3/8"=1'-0"
DATE: 12.23.2022

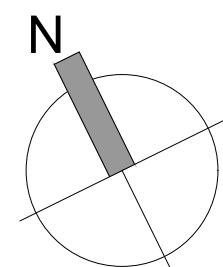


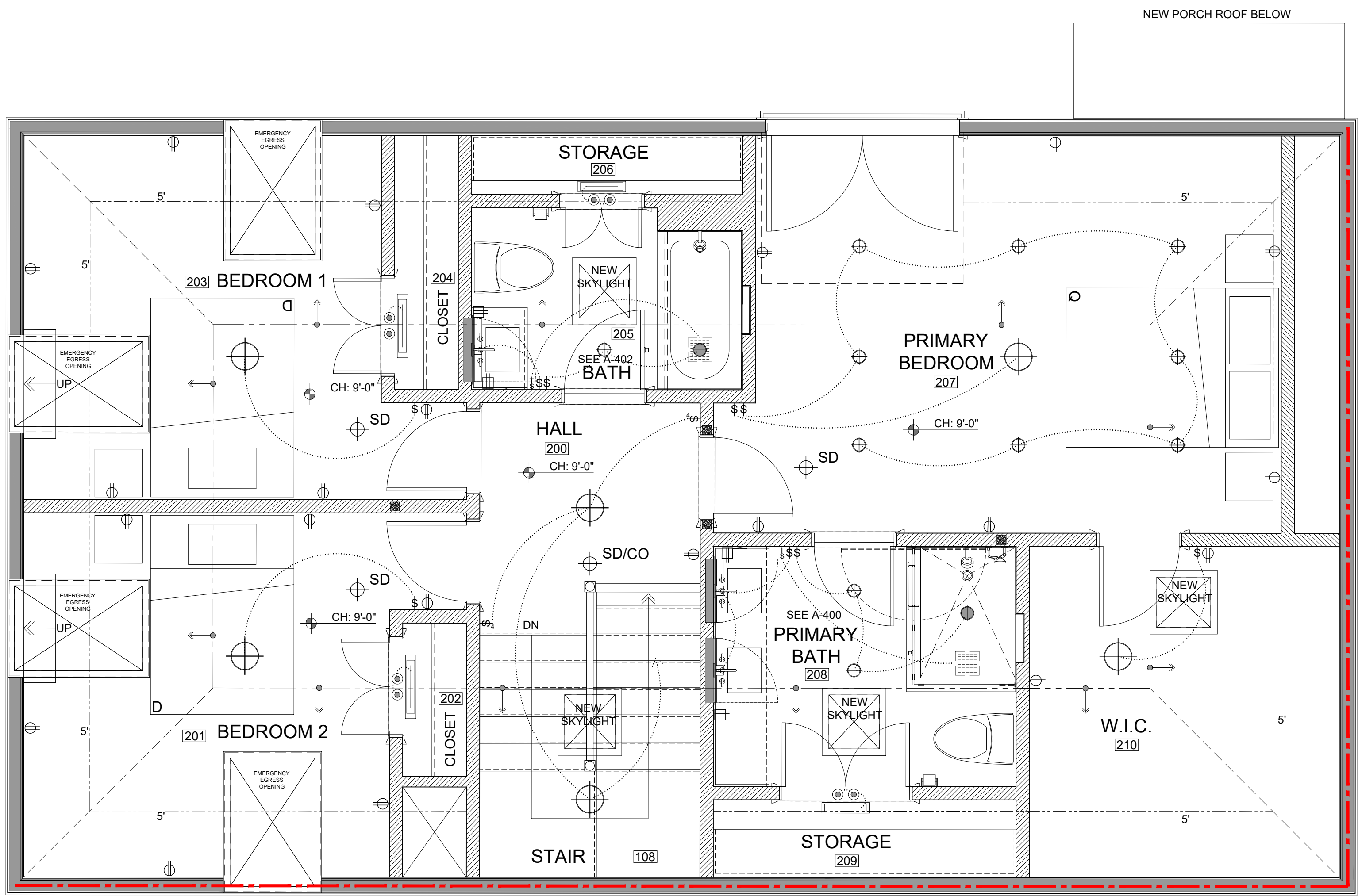


1
BYC BASEMENT FLOOR RCP
3/8" = 1'-0"



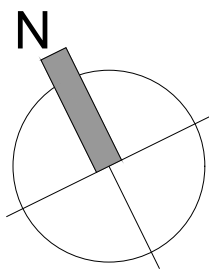
2
BYC 1ST FLOOR RCP
3/8" = 1'-0"





1
A-114

BYC 2ND FLOOR RCP
3/8" = 1'-0"



EMERGENCY EGRESS OPENINGS
IF DOUBLE OR DOUBLE HUNG
- 3.3 SF MIN. OPENING AREA
- 36" x 20" MIN. OPENING DIMENSIONS
CAN BE IN EITHER DIRECTION
- 44" MIN. SILL HEIGHT
ANY OTHER APPROVED WINDOW TYPE
- 5.7 SF MIN. IF BELOW GRADE MIN.
OPENING AREA
- 36" MIN. OPENING HEIGHT
- 20" MIN. OPENING WIDTH
- 44" MIN. SILL HEIGHT
SEE IRC 2010 SECTION R310 & MA
AMENDMENTS FOR REQUIREMENTS
EMERGENCY EGRESS WINDOW WELLS
- 36" MIN. WIDTH & PROJECTION
- 8" MIN. FOOTPRINT
- LADDER STEPS NOT REQUIRED IF WELL
HEIGHT IS LESS THAN 44"
- TIE INTO FOUNDATION DRAINAGE
SYSTEM OR APPROVED ALTERNATE
- 36" MIN. HEAD HEIGHT ABOVE WELL
SEE IRC 2010 SECTION R310 & MA
AMENDMENTS FOR REQUIREMENTS

NOTE:
- MAX ALLOWABLE CEILING HEIGHT TO BE
12'-0"
- ROOF RATCHES TO INTERSECT THE
WALL PLATE @ MAX 2'-0" AFF

PROPOSED REFLECTED CEILING PLANS
PROPOSED RESIDENTIAL RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144



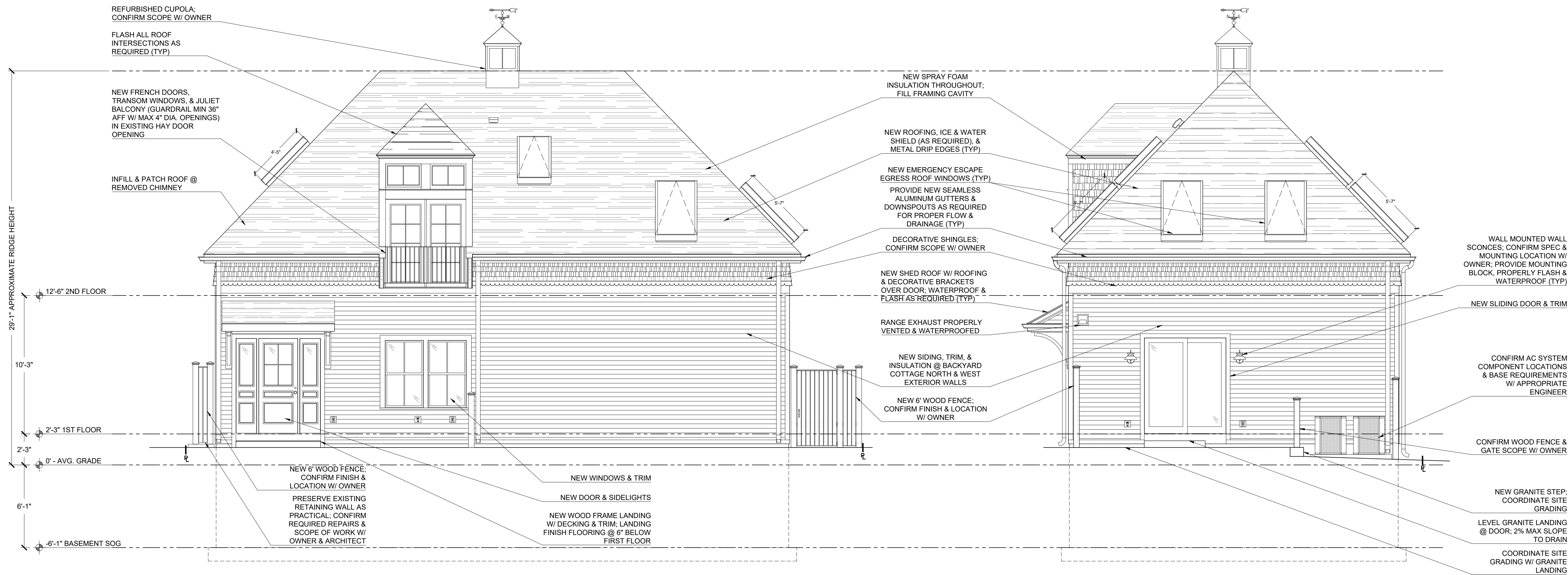
PROJECT NUMBER: 202037
DRAWING NUMBER:

A-114

SCALE: 3/8"=1'-0"
DATE: 12.23.2022

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BACKYARD COTTAGE EXTERIOR SCOPE OF WORK
REMOVE ALL SIDING, TRIM & ROOFING DOWN TO STRUCTURAL PROPERTY & ABATE & DISPOSE OF HAZARDOUS MATERIAL(S)
EXISTING WINDOWS & DOORS TO BE REMOVED
PROVIDE NEW WINDOWS, ROOF INSULATION, SIDELIGHTS & DOORS TO BE INSTALLED, PROPERLY FLASHED & WATERPROOFED @ ALL NEW, RELOCATED, & EXISTING OPENINGS AS INDICATED ON PROPOSED PLANS & ELEVATIONS
SCALES:
NORTH & WEST FACADE:
PROVIDE NEW CLAPBOARD SIDING W/ SHINGLE DETAILING, CONFIRM CONFIRM DETAIL W/ OWNER
SOUTH & EAST FACADE:
CONFIRM DETAIL W/ OWNER
PROVIDE NEW CLAPBOARD SIDING W/ SHINGLE DETAILING, CONFIRM SIDING DETAIL W/ OWNER
PROVIDE NEW CLAPBOARD SIDING W/ SHINGLE DETAILING, CONFIRM HOUSEWRAP SUCH AS BENJAMIN OBOPKE HYDROWRAP @ ALL EXTERIOR WALLS
PROVIDE SPRAY FOAM @ ALL WALL & ROOF ASSEMBLIES, FILL FRAMING CAVITIES & COMPLY W/ CURRENT ENERGY CODE AS REQUIRED, ADD SIP STRAPPING TO INTERIOR JOIST OF EXTERIOR WALLS TO INCREASE FRAMING CAVITY DEPTH
PROVIDE NEW GYPKUM PANELS, ROOF W/ SYNTHETIC UNDERLAYMENT, ICE & WATER SHIELD METAL Drip Edges & ALL OTHER COMPONENTS AS REQUIRED TO PROVIDE CODE COMPLIANT ROOF W/ MANUFACTURER WARRANTIES
PROVIDE NEW CONTINUOUS GUTTERS & DOWNSPOUTS, CONFIRM LOCATIONS SHOWN ARE FOR DIAGNOSTIC PURPOSES ONLY, ENGINEER COORDINATE DOWNSPOUT LOCATIONS W/ ROOF CONFIGURATION

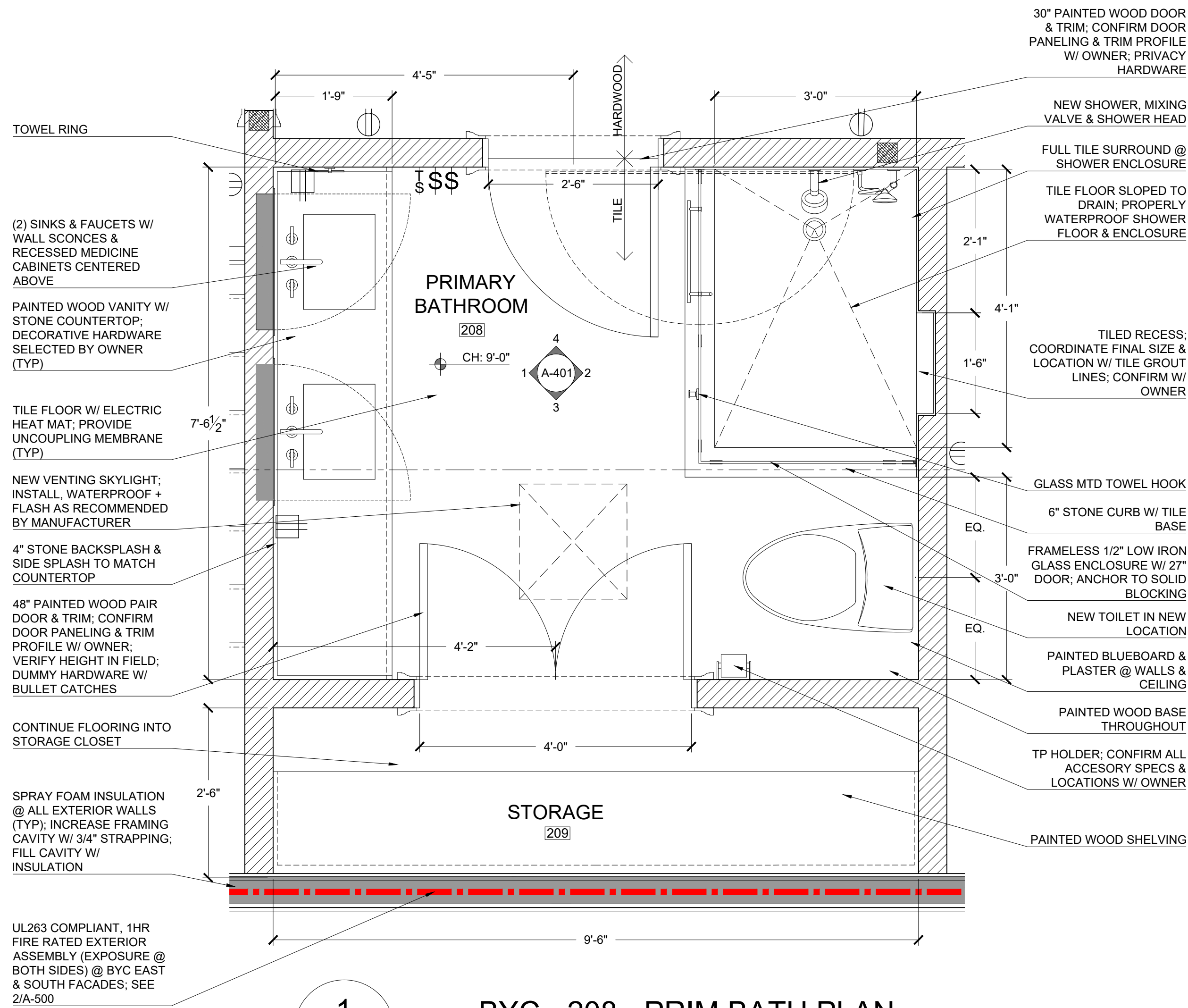


1
A-202
BACKYARD COTTAGE
PROPOSED FRONT (NORTH) ELEVATION
1/4" = 1'-0"

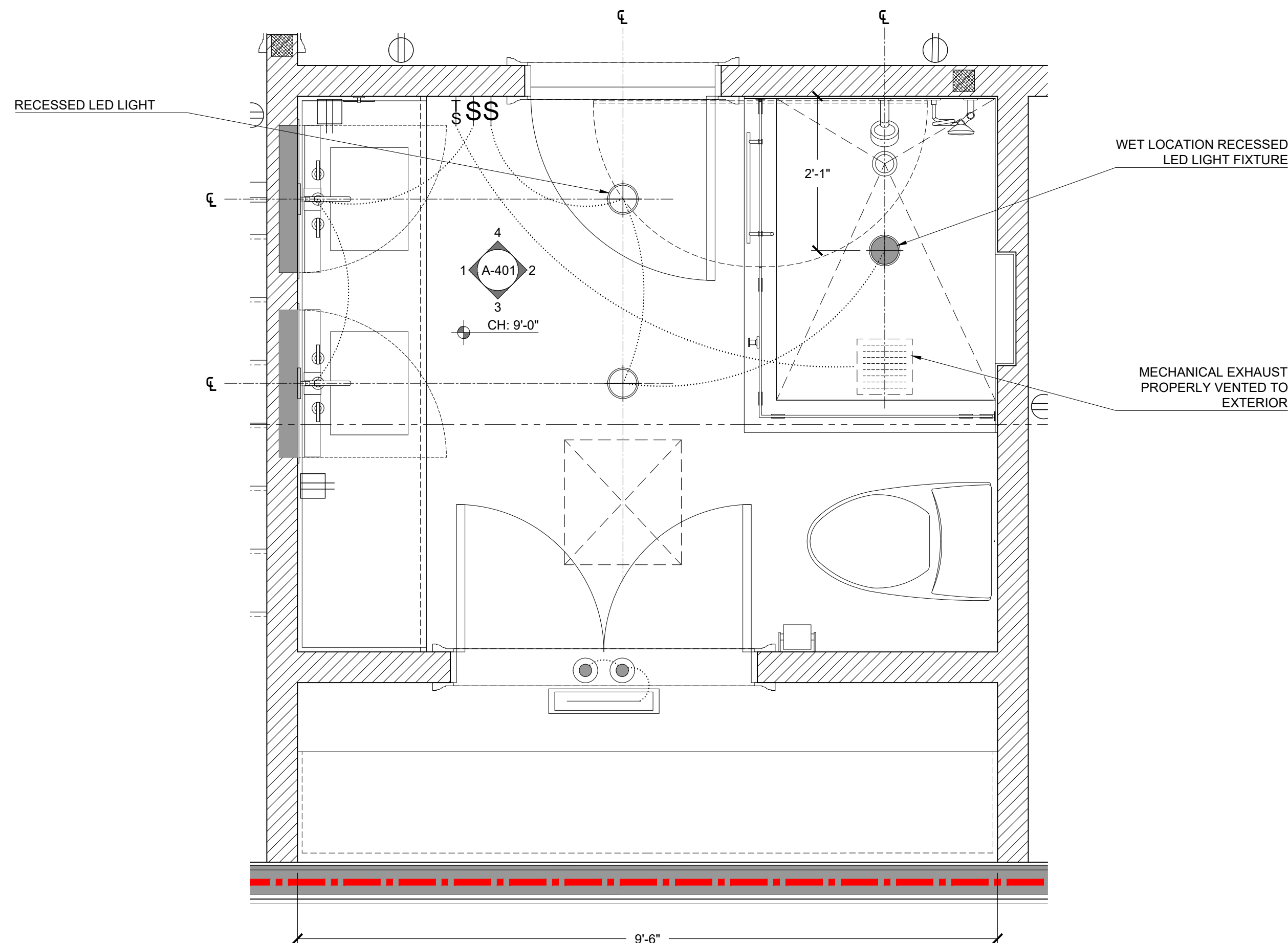
2
A-202
BACKYARD COTTAGE
PROPOSED SIDE (WEST) ELEVATION
1/4" = 1'-0"

SCALE: 1/4"=1'-0"
DATE: 12.23.2022

- NOTE:
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 - PROVIDE BLOCKING FOR ALL ACCESSORIES & COMPONENTS AS REQUIRED
 - CONFIRM ALL FIXTURES, FINISHES, FITTINGS & ACCESSORIES W/ OWNER
 - COORDINATE FIXTURE & ACCESSORY LOCATIONS W/ OWNER SPECIFIED COMPONENTS



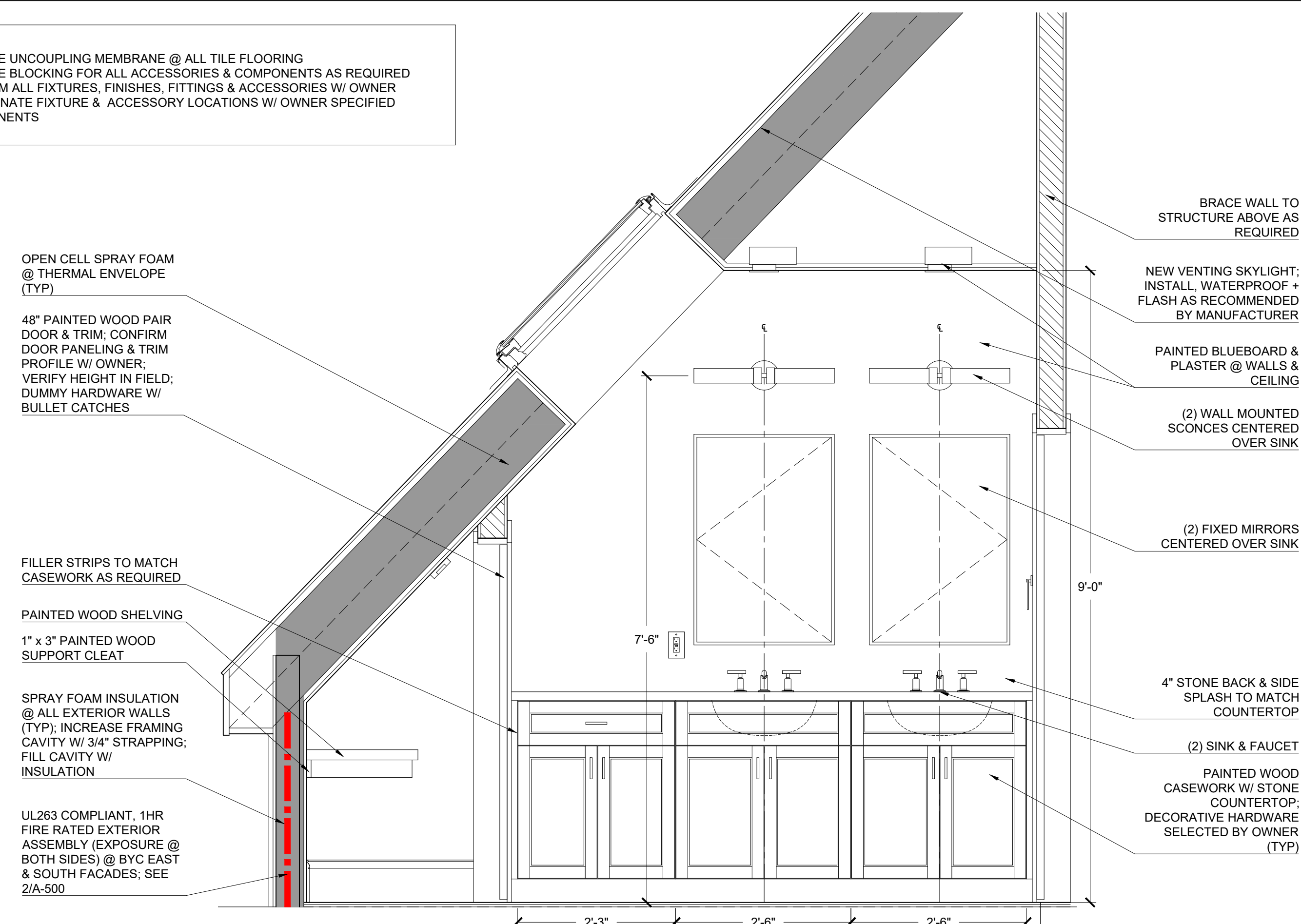
1
A-400
BYC - 208 - PRIM BATH PLAN
3/4" = 1'-0"



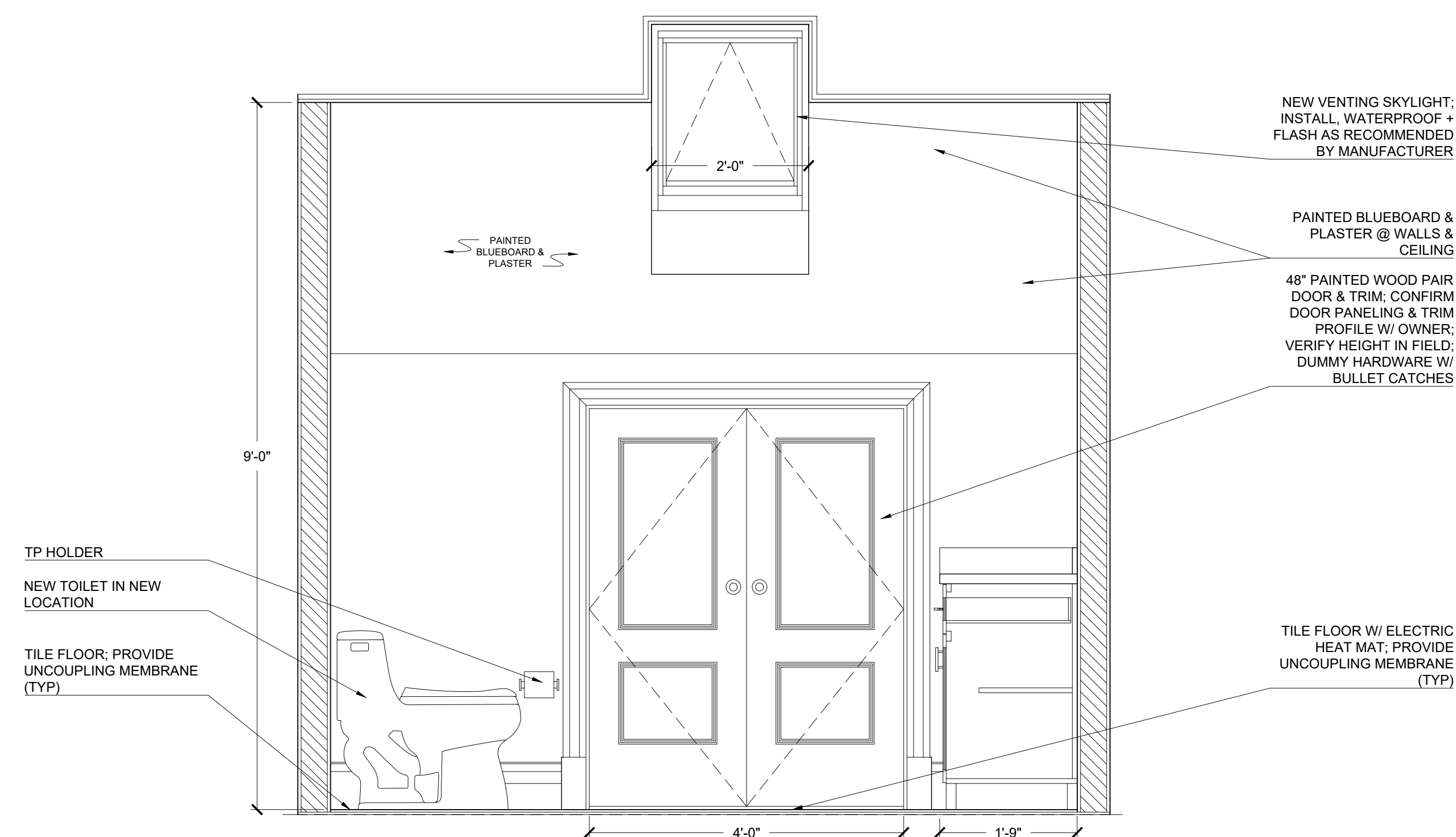
1
A-400
BYC - 208 - PRIM BATH RCP
3/4" = 1'-0"



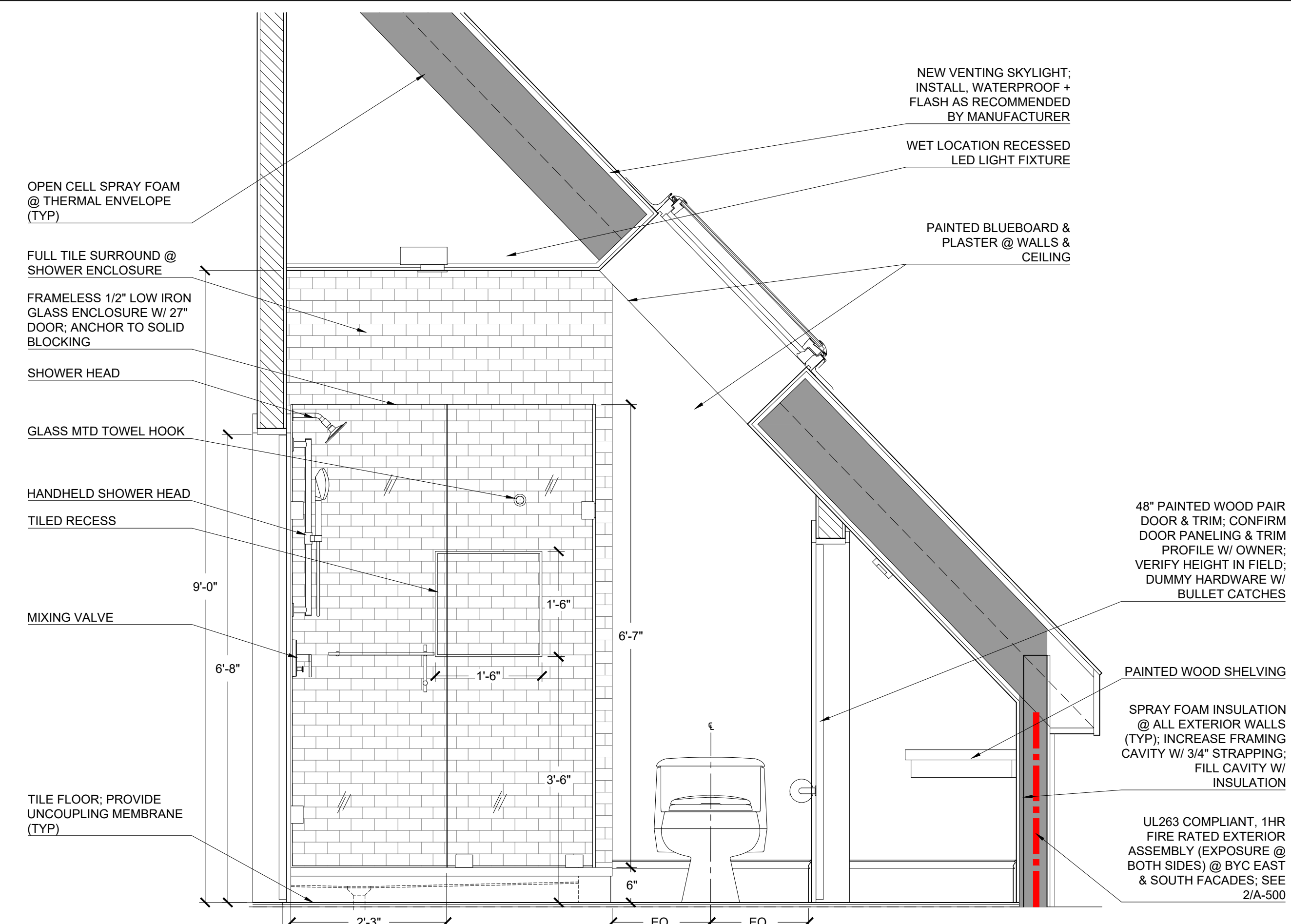
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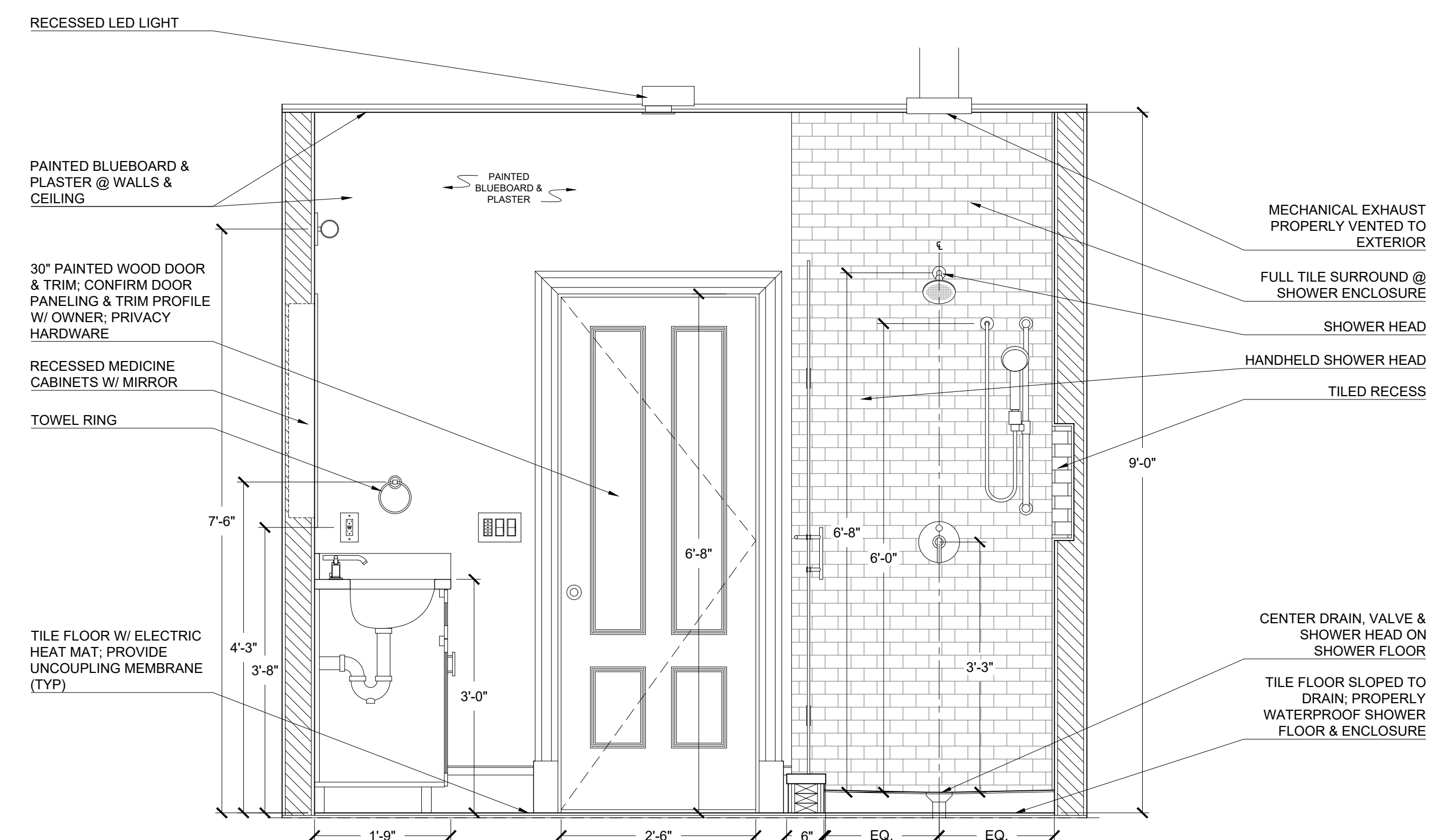
1 BYC - PRIMARY BATH - 208 - ELEV
A-401 3/4" = 1'-0"



3 BYC - PRIMARY BATH - 208 - ELEV
A-401 3/4" = 1'-0"

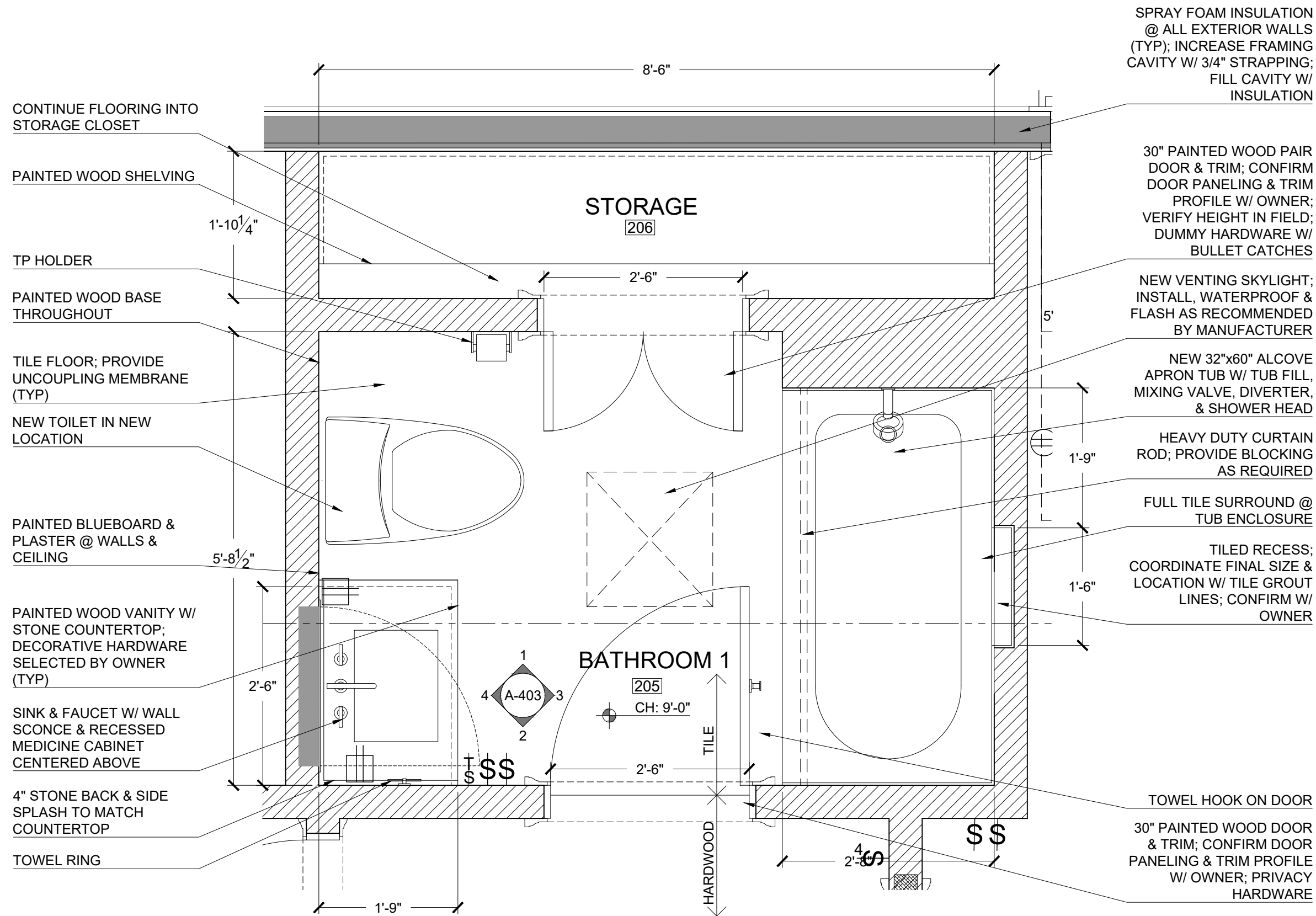


2 BYC - PRIMARY BATH - 208 - ELEV
A-401 3/4" = 1'-0"

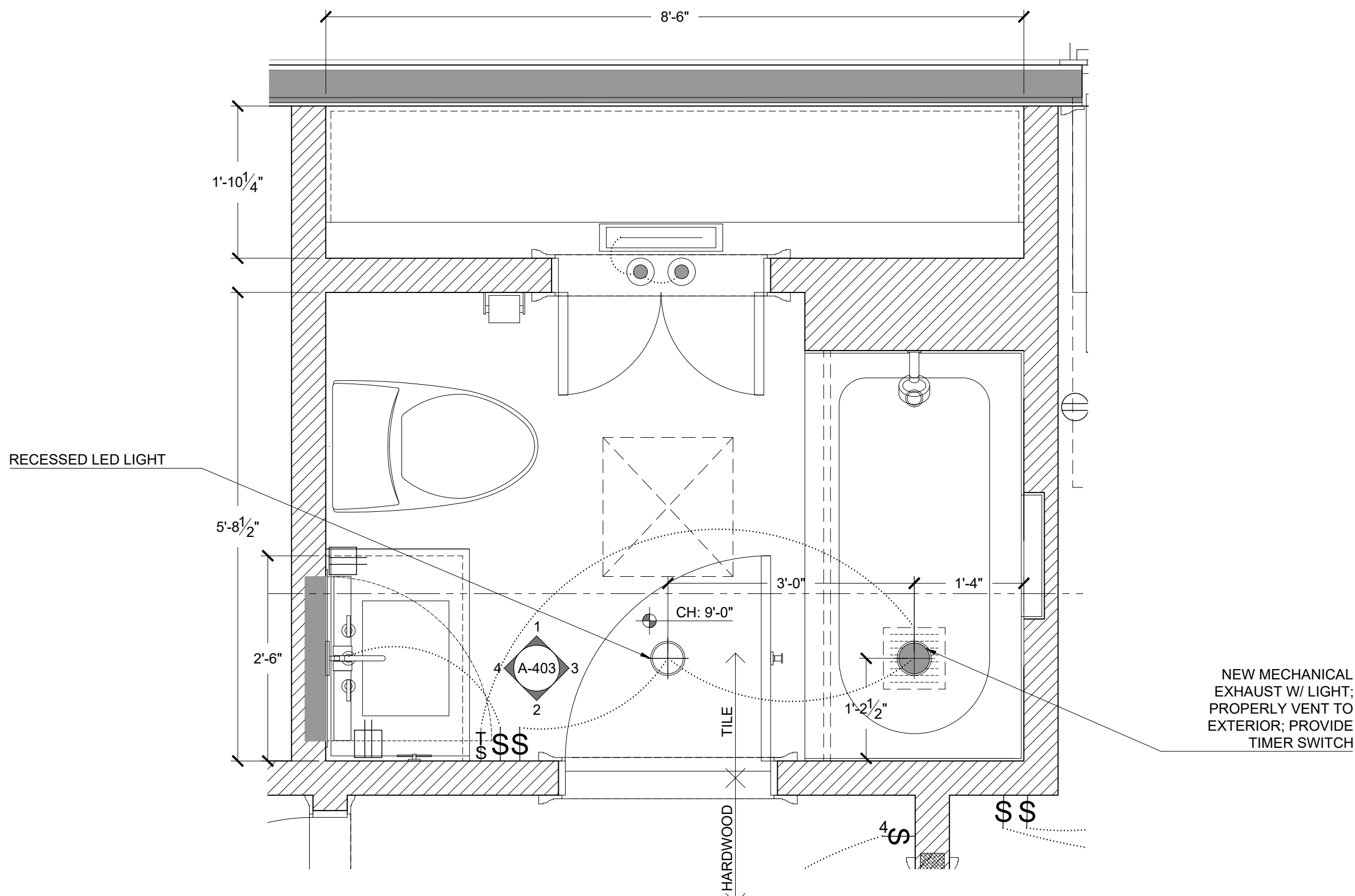


4 BYC - PRIMARY BATH - 208 - ELEV
A-401 3/4" = 1'-0"

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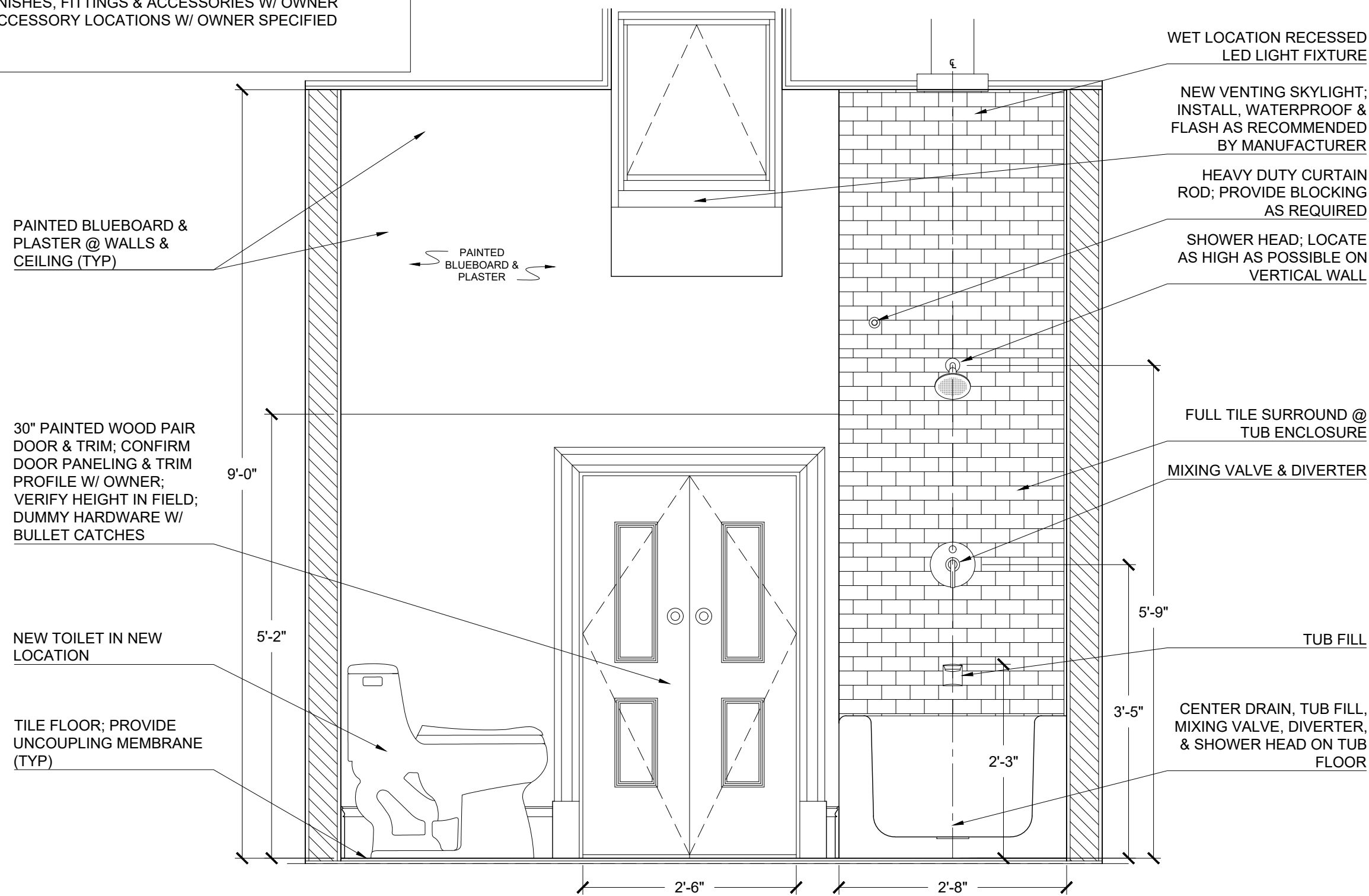
2
A-402
BYC - 205 - BATH 1 PLAN
3/4" = 1'-0"



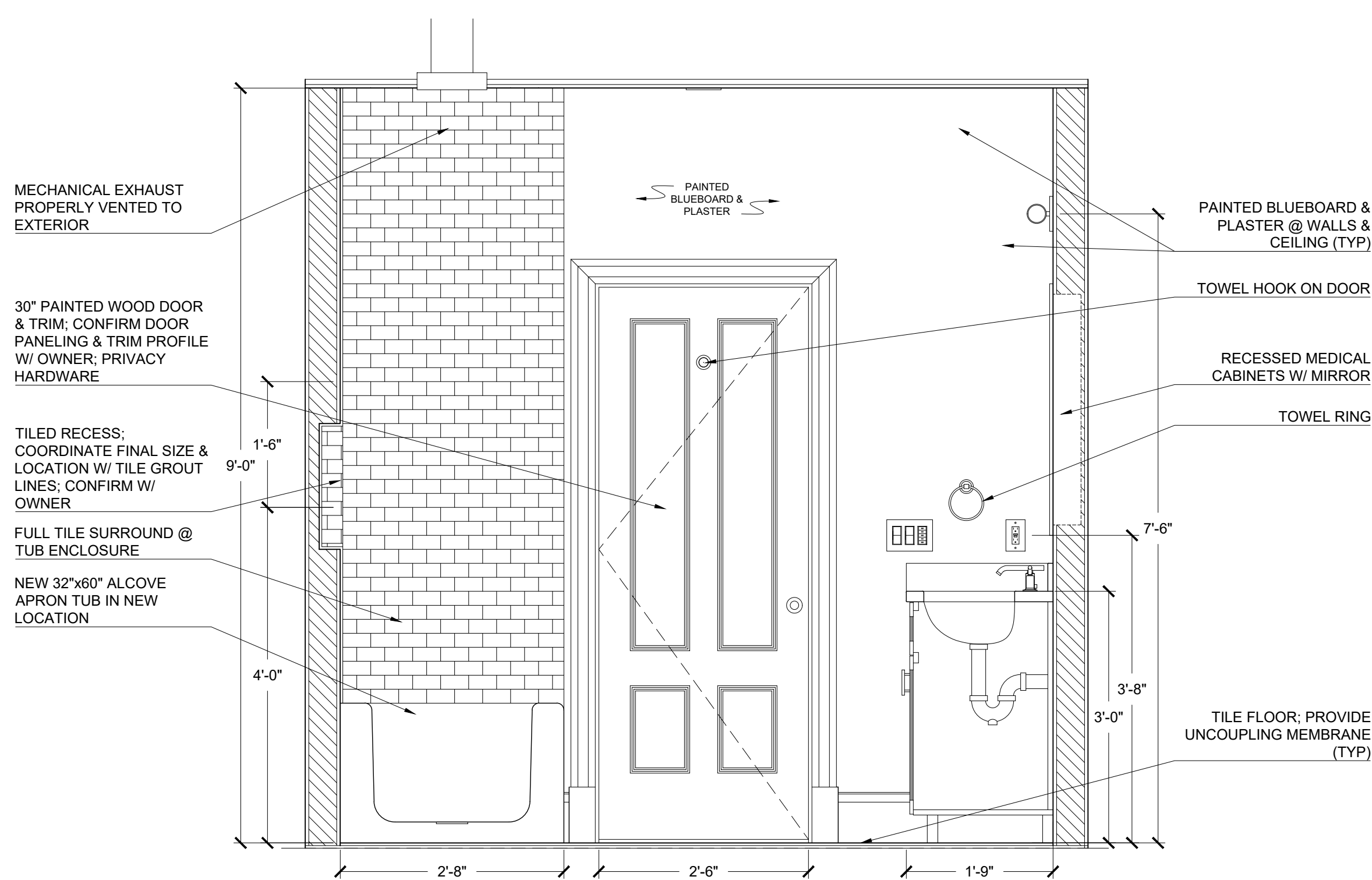
2
A-402
BYC - 205 - BATH 1 RCP
3/4" = 1'-0"



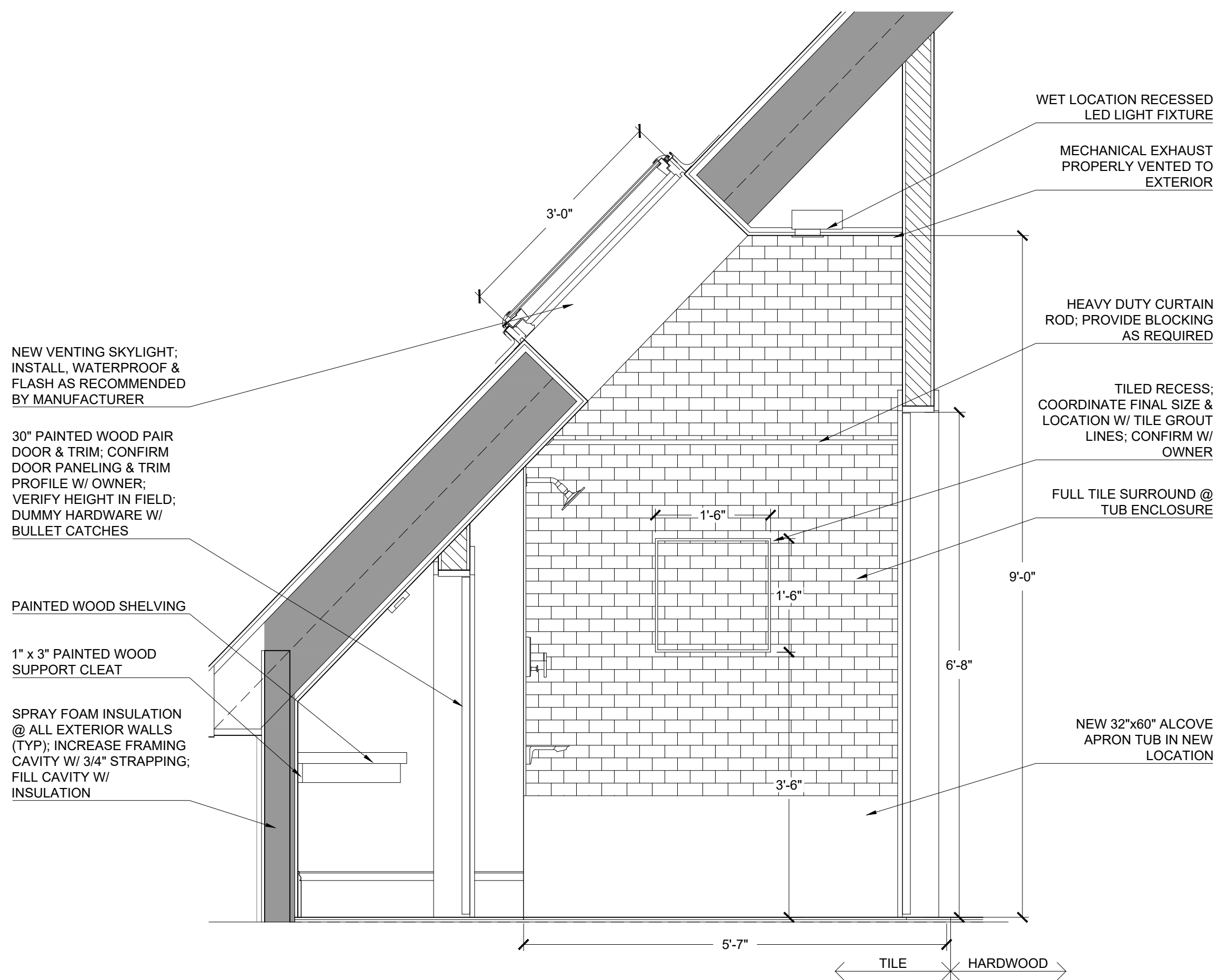
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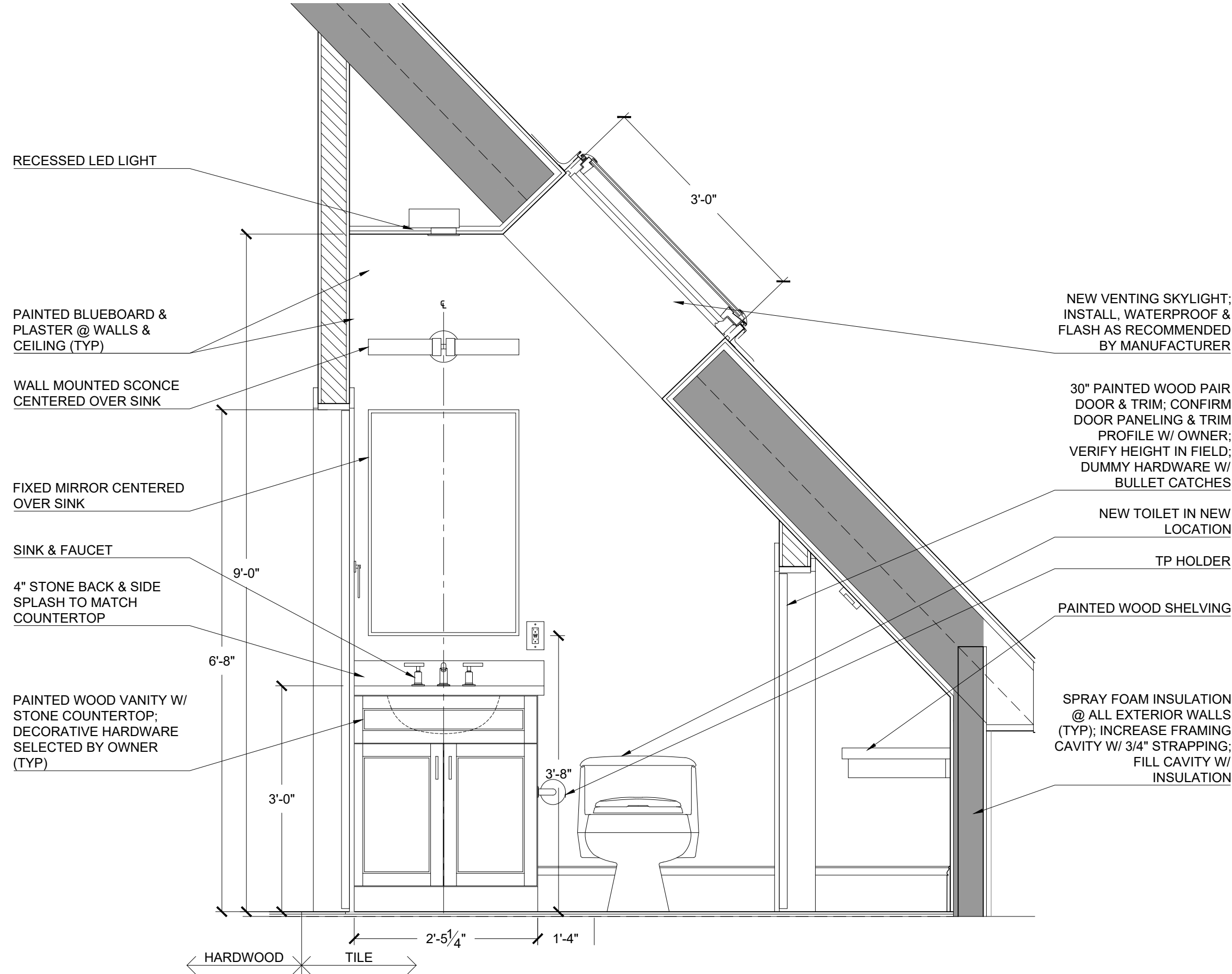
1
A-403
BYC - BATH 1 - 205 - ELEV
3/4" = 1'-0"



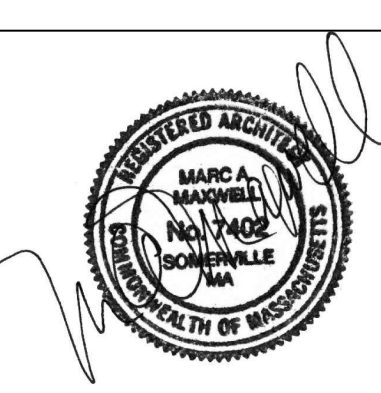
2
A-403
BYC - BATH 1 - 205 - ELEV
3/4" = 1'-0"



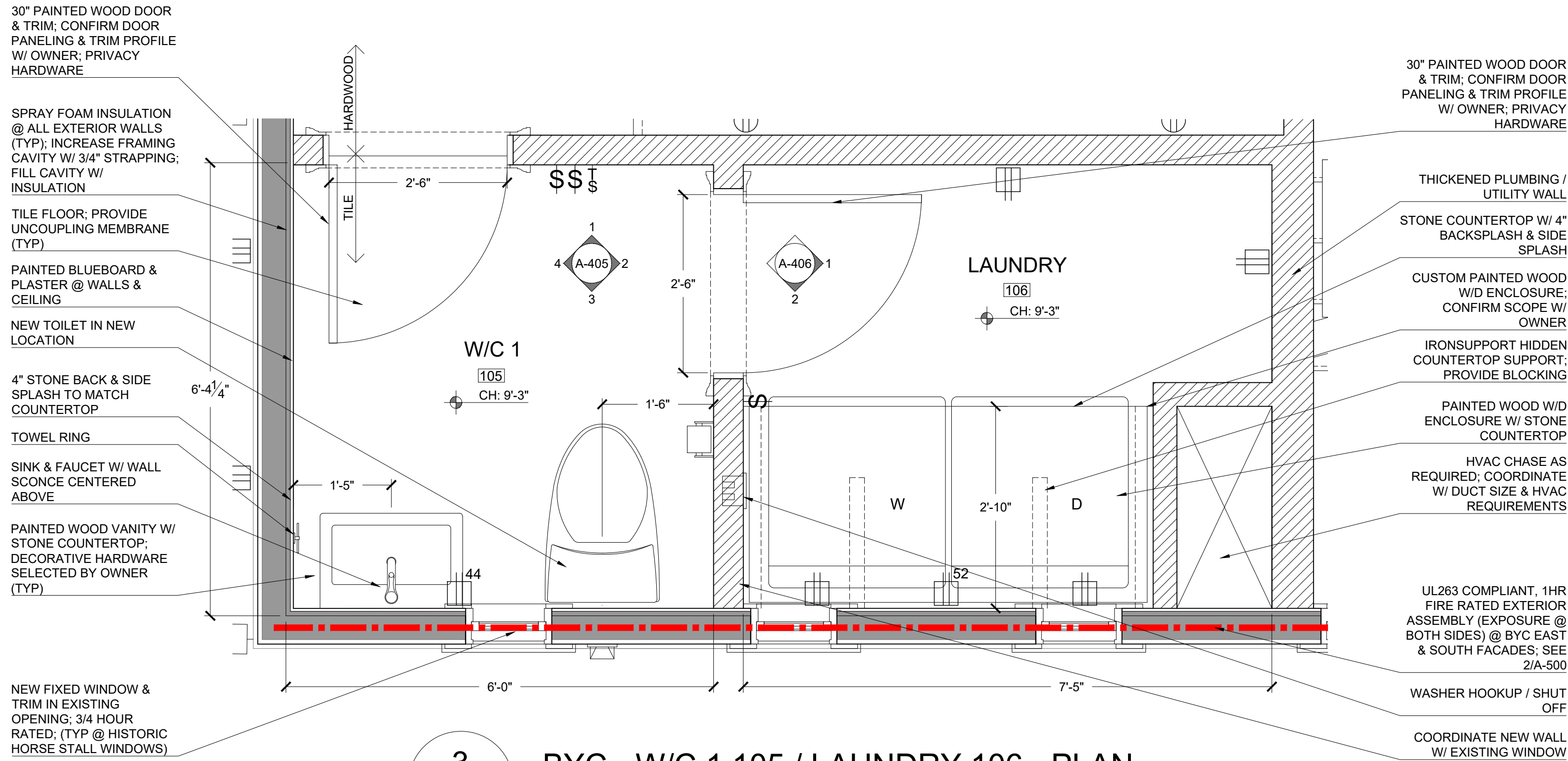
3
A-403
BYC - BATH 1 - 205 - ELEV
3/4" = 1'-0"



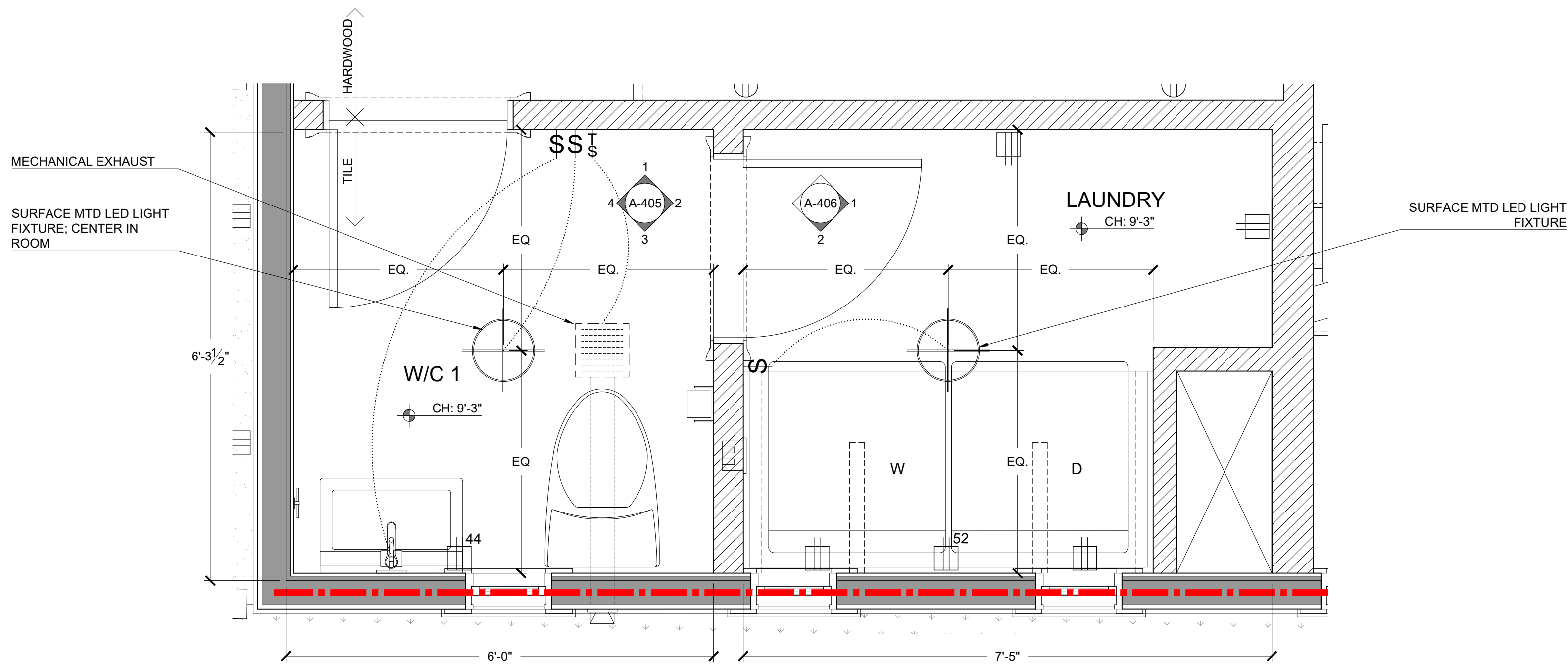
4
A-403
BYC - BATH 1 - 205 - ELEV
3/4" = 1'-0"



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3 BYC - W/C 1 105 / LAUNDRY 106 - PLAN
A-404 3/4" = 1'-0"



3 BYC - W/C 1 105 / LAUNDRY 106 - RCP
A-404 3/4" = 1'-0"



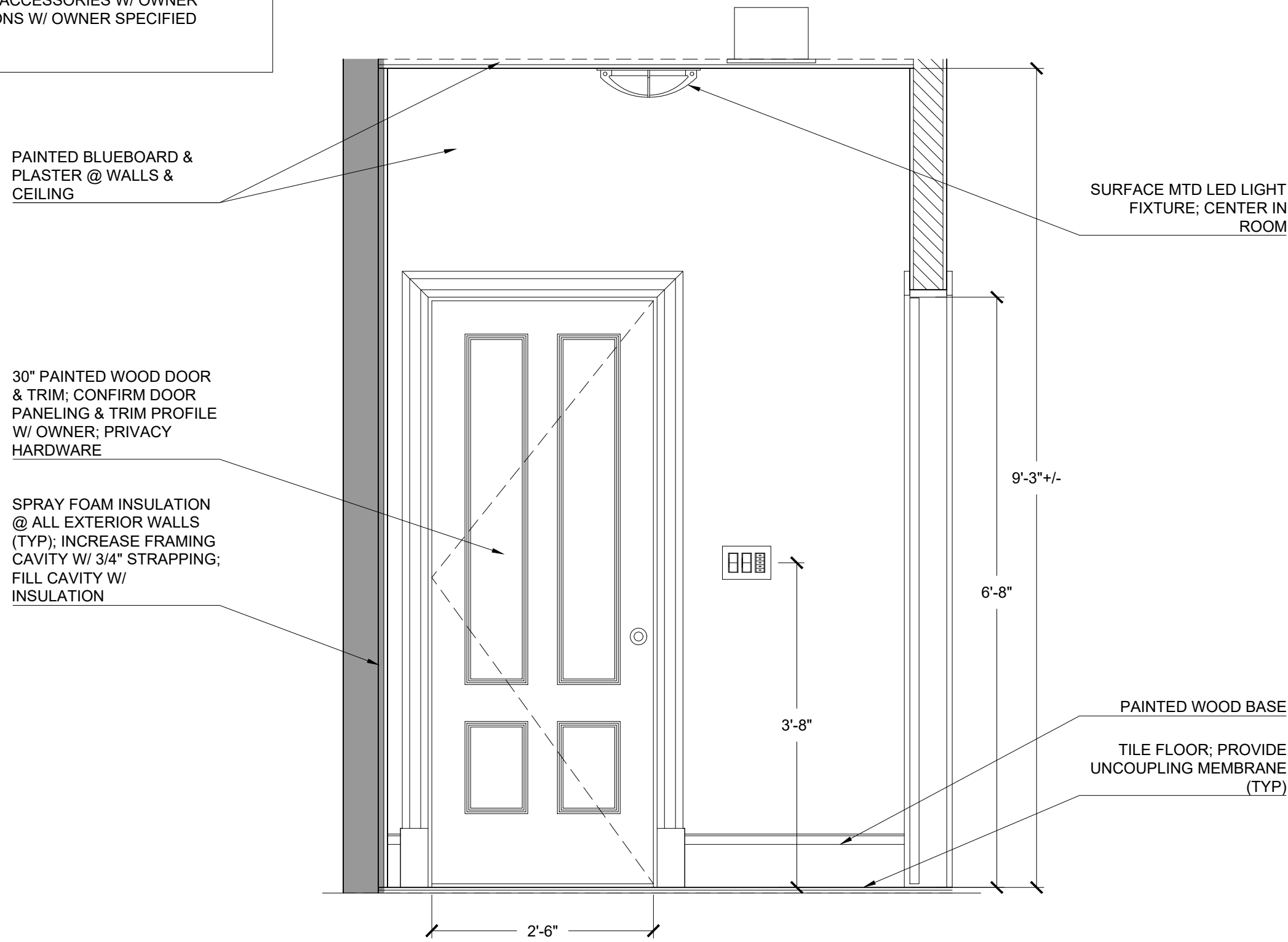
PROJECT NUMBER: 202037
DRAWING NUMBER:

A-404

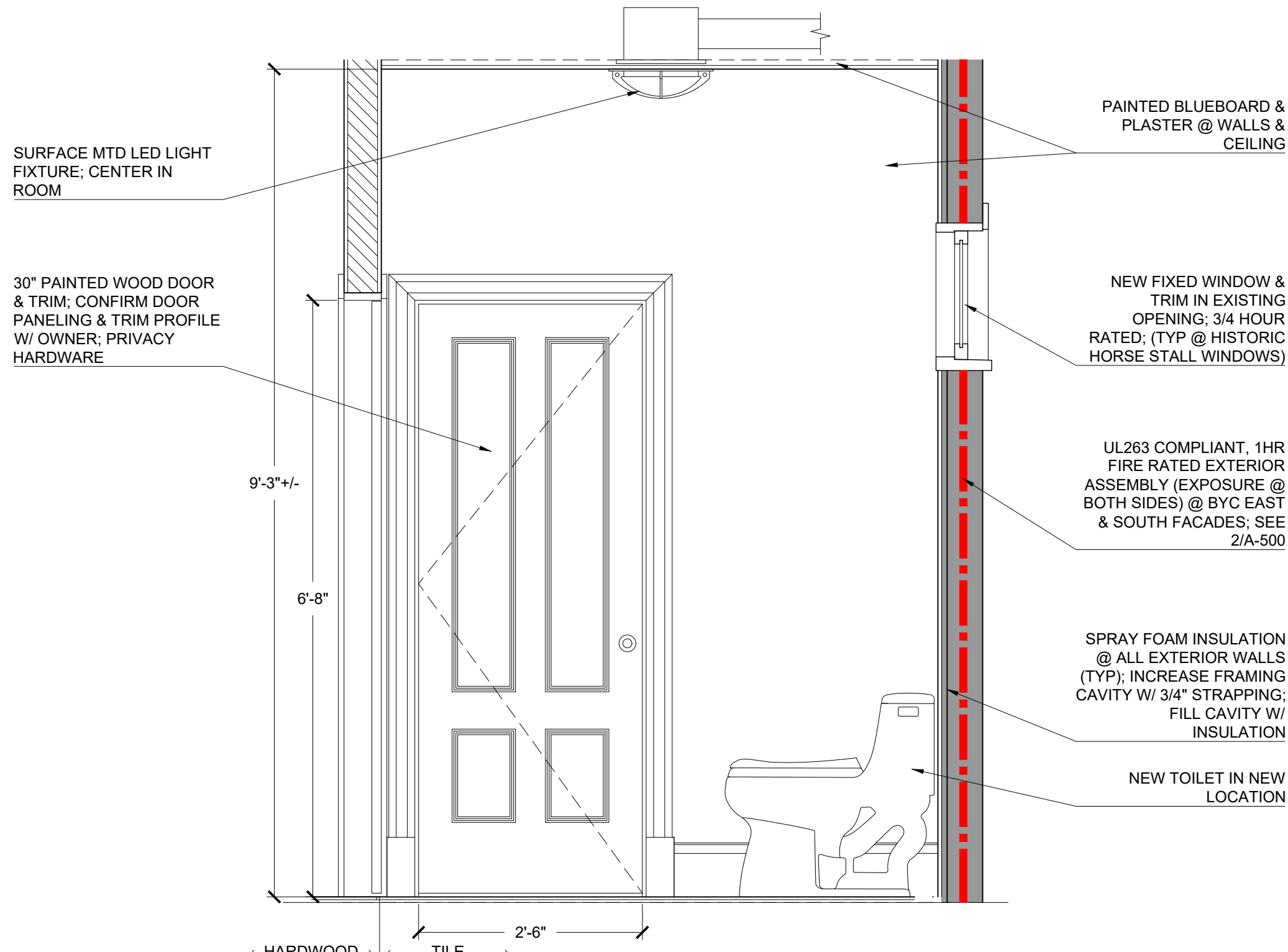
SCALE: 3/4"=1'-0"
DATE: 12.23.2022

NOTE:

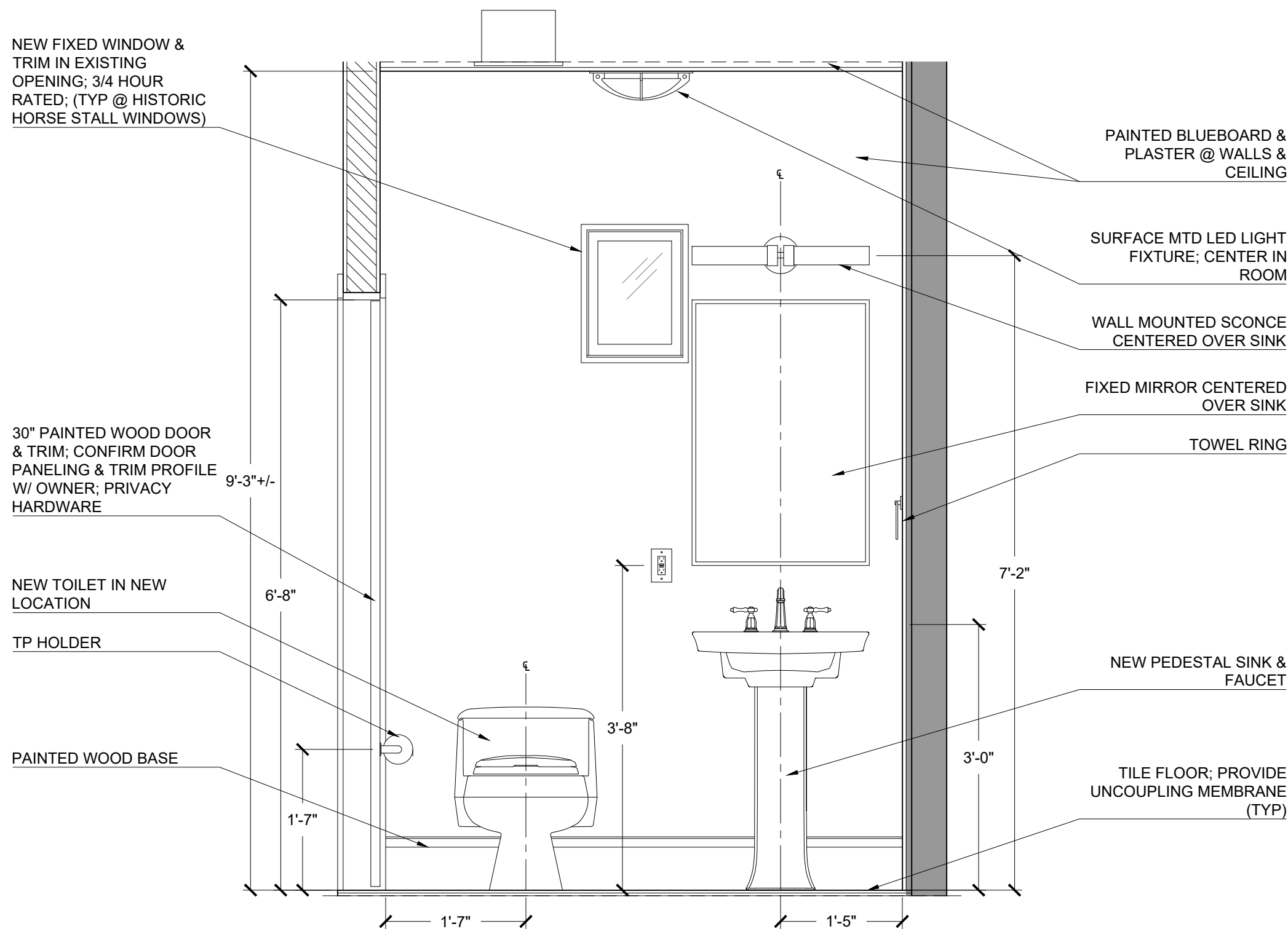
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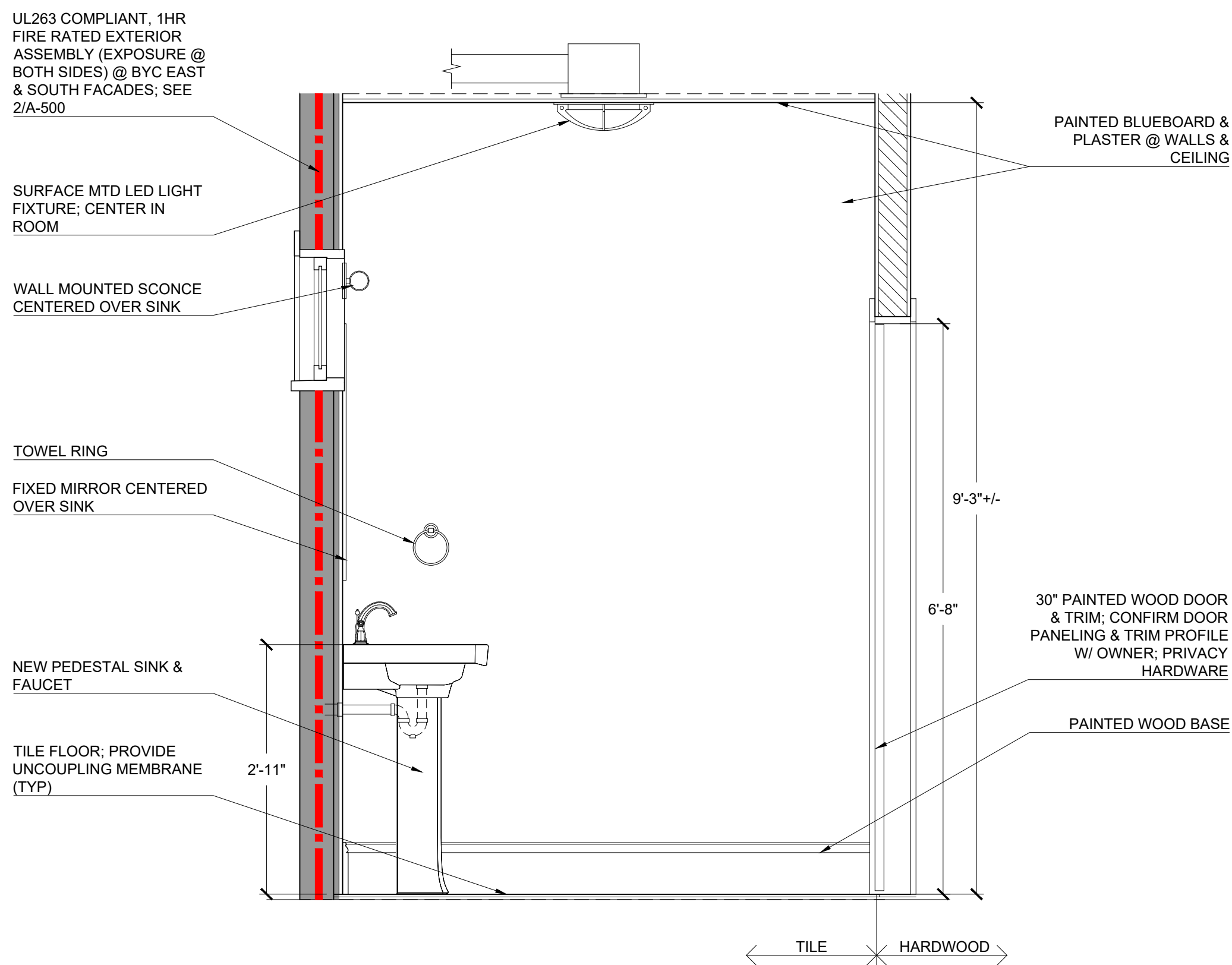
1
A-405
BYC - W/C 1 - 105 - ELEV
3/4" = 1'-0"



2
A-405
BYC - W/C 1 - 105 - ELEV
3/4" = 1'-0"

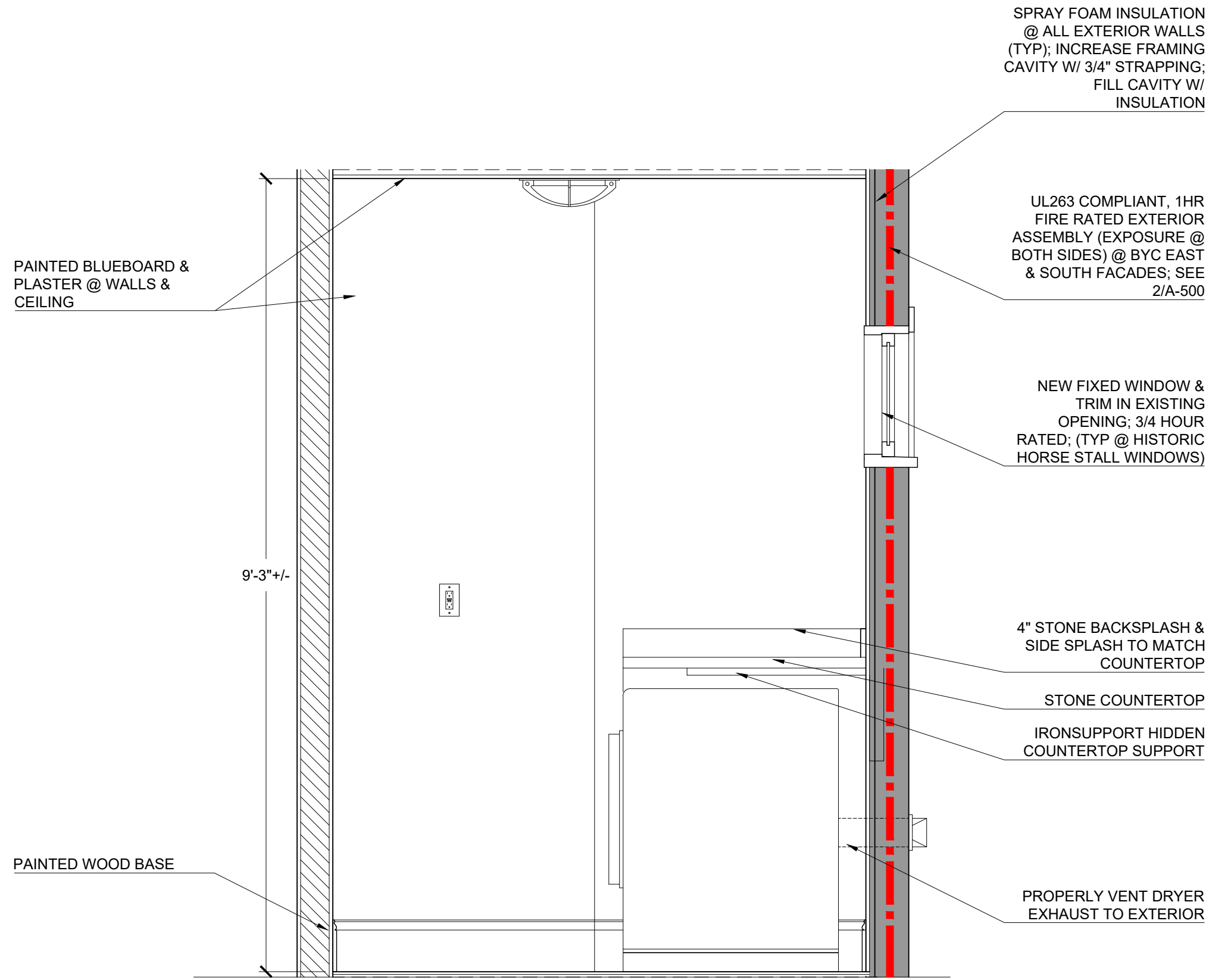


3
A-405
BYC - W/C 1 - 105 - ELEV
3/4" = 1'-0"

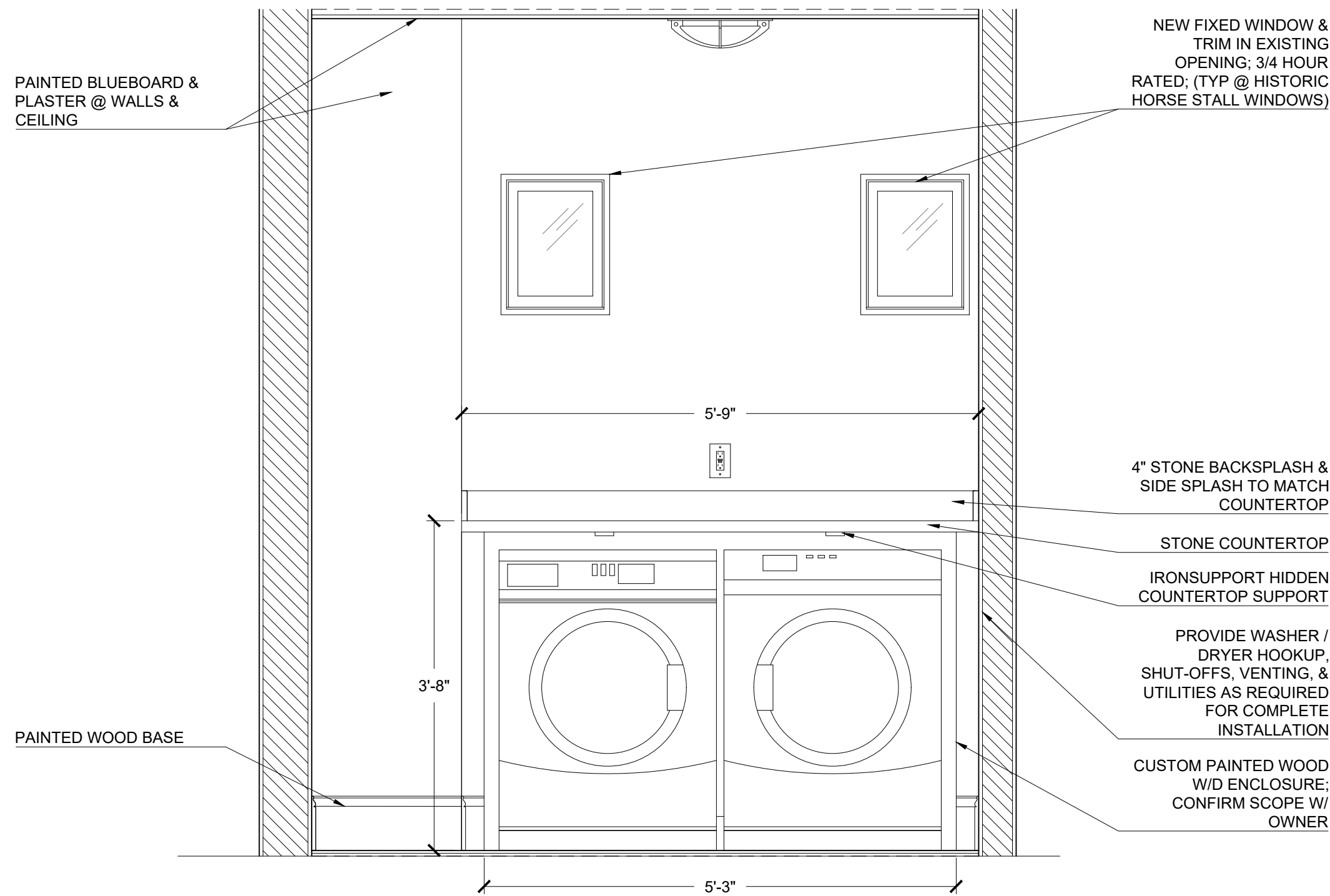


4
A-405
BYC - W/C 1 - 105 - ELEV
3/4" = 1'-0"

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1
A-406
BYC - LAUNDRY - 106 - ELEV
3/4" = 1'-0"



2
A-406
BYC - LAUNDRY - 106 - ELEV
3/4" = 1'-0"



PROJECT NUMBER: 202037
DRAWING NUMBER:

A-406

SCALE: 3/4"=1'-0"
DATE: 12.23.2022

Adam Dash & Associates

Operating Account
48 Grove Street, Suite 304
Somerville, MA 02144
617-625-7373

6788

5-7017/2110

DATE Jan 3, 2023

PAY
TO THE
ORDER OF

City of Somerville

\$ 125.00

One Hundred Twenty Five and 00/100

DOLLARS

Security Features
Included
Details on Back

Citizens

21-23 Franciscan Ave.

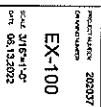
FOR

Fepla - administrative appeal (Filing fee)

MP

⑈006788⑈ ⑆211070175⑆ 1310384999⑈

Existing Carriage House/Barn			
3.1.12 Backyard Cottage			
	Required	Provided	
Lot Dimensions			
Lot Width (front driveway access)	34 ft	50 ft (existing)	conforming
Lot Depth	80 ft	101.52 ft (existing)	conforming
Lot Development			
Lot Coverage (maximum)	60%	49%	conforming
Green Score	0.35 minimum	0.38	conforming
Building Setbacks			
Primary Front Setback (min/max)	60 ft (min)	74'-9" (existing)	conforming
Side Setbacks	3 ft	1'-10" east	existing non-conforming
	3 ft	5'-7" west	conforming
Rear Setback (min) Main House	3 ft	1'-8"	existing non-conforming
Building Separation (min)			
Main house to Carriage House	10 ft	15'-6"	conforming
Carriage House to 17-19 Garage	10 ft	7'-1"	existing non-conforming
Main Massing			
Width (max)	24 ft	42'-5"	existing non-conforming
Depth (max)	32 ft	24'-5"	conforming
Floor Plate (max)	576 sf	975 sf (existing)	existing non-conforming
Story Height (max)	12 ft	10'-9" (existing)	conforming
Number of Stories (max)	1.5	1.5	conforming
Roof Type	Flat, Gable	Gable/Hip with Cupola	conforming
Façade Composition			
Ground Story Fenestration Residential Use (min/max)	15%- 50%	19%	conforming
Ground Story Fenestration Vehicular Parking (min/max)	0%- 50%	0%	conforming
Upper Story Fenestration (min/max)	15%-50%	NA	
Use & Occupancy			
Dwelling Units per Lot (max)	3	2	conforming
Dwelling Units (max)	1	1	conforming

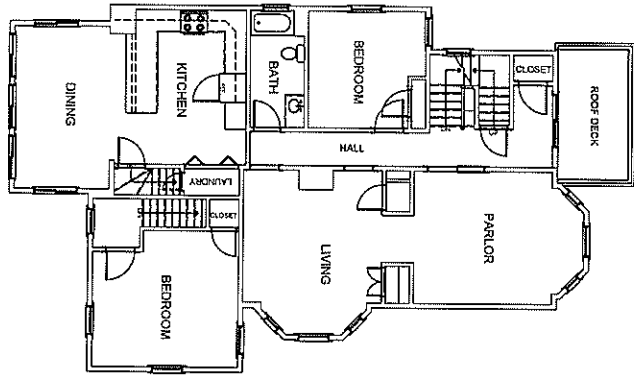


MAXWELL ARCHITECTS, LLC
PLANNING / PROGRAMMING / DESIGN

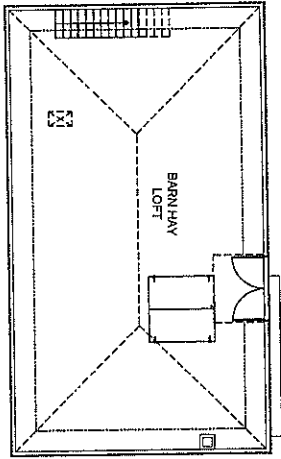
Architecture
 Space Planning
 Project Management
 Facility Programming

CG Gordon Group
 Toronto/Baltimore/Chicago

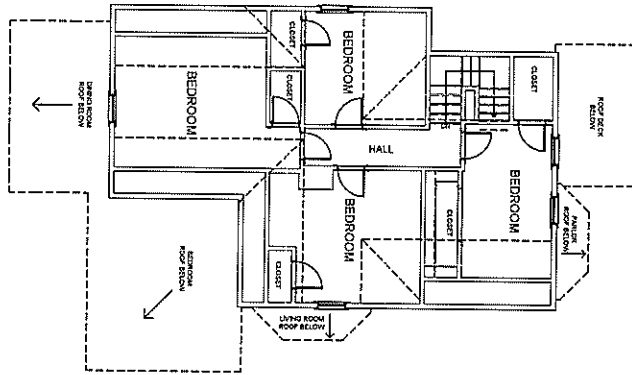
(416) 593-4322
 (416) 593-0223 FAX



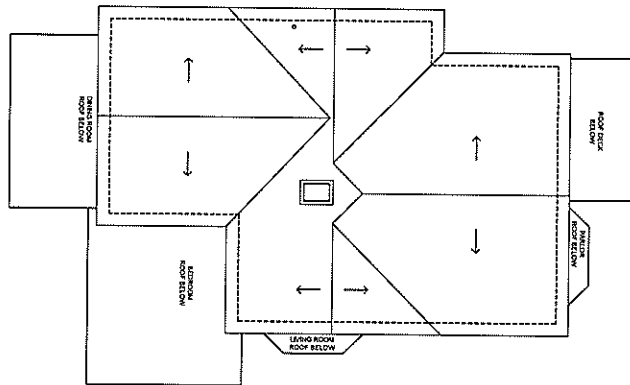
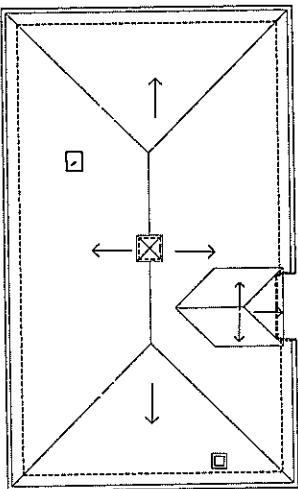
1
EX-101
EXISTING 2nd FLOOR PLAN
3/16" = 1'-0"



2
EX-101
EXISTING 3rd FLOOR PLAN
3/16" = 1'-0"



3
EX-101
EXISTING ROOF PLAN
3/16" = 1'-0"

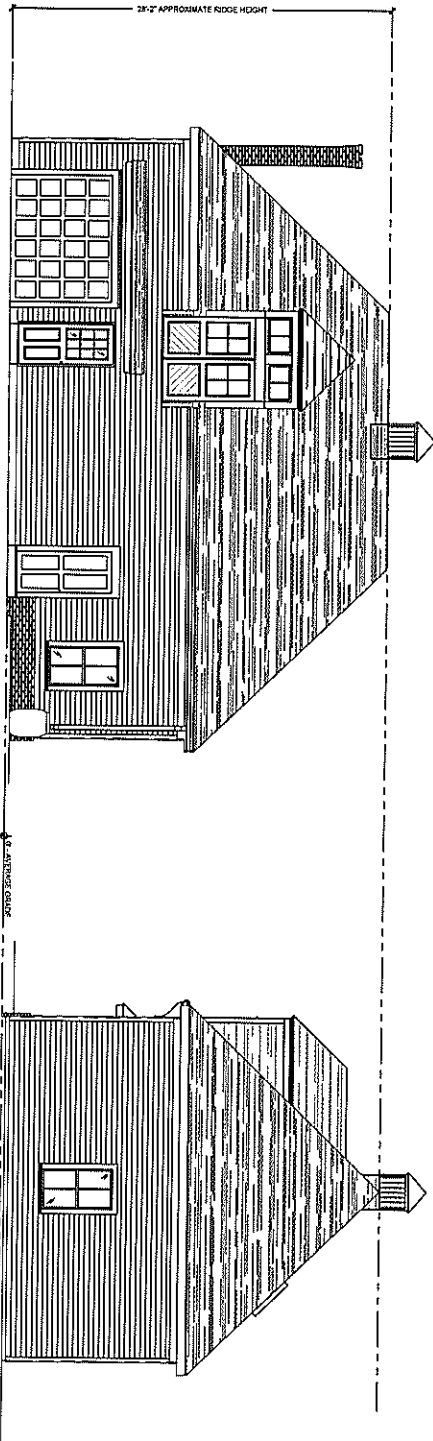


MAXWELL ARCHITECTS, LLC
2100337
EX-101
Scale: 3/16" = 1'-0"
Date: 05.13.2022



EXISTING PLANS
PROPOSED TWO-FAMILY RENOVATION
ZEPEDA & JONG RESIDENCE
21-23 FRANCESCA AVE.
SOMERVILLE, MA 02144

MAXWELL ARCHITECTS, LLC
PLANNING / PROGRAMMING / DESIGN
Architect
Scale: Planning
Project: Renovation
File By: Programing
2100337
2100337
2100337



1
EX-202 BACKYARD COTTAGE
EXISTING FRONT (NORTH) ELEVATION
1/8" = 1'-0"

2
EX-202 BACKYARD COTTAGE
EXISTING SIDE (WEST) ELEVATION
1/8" = 1'-0"